

City of Brisbane

Planning Commission Agenda Report

TO: Planning Commission For the Meeting of 2/11/2016

FROM: Julia Capasso, Associate Planner, via John Swiecki, Community Development Director

SUBJECT: **166 San Benito Road;** Variance V-5-15 to allow an elevated wooden deck approximately 315 square feet in size attached to the dwelling to maintain a 9.9 inch (0.826 foot) setback from the side property line where a minimum setback of three feet is required.

REQUEST: The applicant requests approval of a Variance to legalize an approximately 315 square-foot elevated wooden deck built in the side yard setback, maintaining a 9.9 inch (0.826 foot) setback from the side property line where a minimum setback of three feet is required. The subject property is an approximately 2,646 square foot triangular corner lot located at the western intersection of San Benito Road and Sierra Point Road.

RECOMMENDATION: Conditionally approve Variance V-5-15, via adoption of Resolution V-5-15 with Exhibit A containing the conditions and findings of approval.

ENVIRONMENTAL DETERMINATION: Construction of accessory structures is categorically exempt from the provisions of the California Environmental Quality Act per Section 15303(e) of the CEQA Guidelines. The exceptions to this categorical exemption referenced in Section 15300.2 do not apply.

APPLICABLE CODE SECTIONS: Setback regulations in the R-1 zoning district are located in BMC §17.06.040. No exception to the side yard setback is permitted for supported decks in the R-1 zoning district per BMC §17.32.070.

ANALYSIS AND FINDINGS:

The subject property is a triangular corner lot, having no rear lot line, and is approximately 2,646 square feet in size. It is currently developed with a 1,482 square foot, two-story home, and the 315 square foot deck under consideration in this application. Prior to the home's construction in 1968, the Brisbane Planning Commission approved a Variance to allow the home to be built on a substandard lot and to maintain substandard setbacks from the west and east side lot lines, in accordance with the setback regulations in effect at the time. It should be noted that updates to the Zoning Ordinance over the subsequent decades have rendered the dwelling conforming in regards to both side yard setbacks. The dwelling maintains a conforming setback of approximately 13 feet, 8 inches from the front lot line. The total lot coverage of the property is 28%. (See Summary of Project Data, attached.)

The elevated deck in question, along with a new second-level entry stairway and new first level entry landing were constructed in the fall of 2015. The elevated deck was built flush to an approximately 9 foot, 8 inch concrete retaining wall that supports a portion of the Sierra Point Road right-of-way above. A corner survey prepared subsequent to their construction shows the deck, second-level entry stairway, and first-level entry landing are located within the property boundaries and, with the exception of the elevated deck, outside of required setbacks (see applicant's site plan, attached). The elevated deck is located partially above a paved parking pad adjacent to the dwelling that accommodates two compact sized (8' x 16') parking spaces. It should be noted that the deck does not constitute lot coverage per BMC 17.02.495 and similarly is not considered to provide "covered parking" per BMC 17.02.175.

While the lot itself has a gentle slope of approximately 7%, the adjacent Sierra Point Road right-of-way rises sharply above the rear property line and is partially retained by the concrete retaining wall on the subject property. As the Sierra Point Road right-of-way is only partially paved, the subject property appears to be larger than it is; consequently, though the deck is located adjacent to the property line, it is set back considerably from and below the paved Sierra Point roadway.

In order to grant the requested variance to the setback requirement for the elevated deck, the Planning Commission must find that, because of special circumstances applicable to the property, such as its size, shape, topography, location, or surroundings, the strict application of the zoning ordinance would deprive the property of privileges enjoyed by other properties in the vicinity and same zoning district. Approval of a variance must also be subject to such conditions as necessary to ensure that the variance will not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and same zoning district.

The application **would meet** these findings, as summarized below.

- Special Circumstances Applicable to Subject Property:

The unique combination of the substandard lot size, triangular lot shape, and slope differential between the property and adjacent right-of-way results in an unusually shaped triangular rear yard with little useable area, atypical to rear yards in the surrounding neighborhood. Additionally, the provision of two on-site parking spaces (consistent with the uncovered parking requirement under BMC 17.34) eliminates the possibility of providing the same amount of useable yard space as the deck provides at grade. Therefore, the size and placement of the elevated deck allows the property owner to enhance and maximize the amount of useable outdoor space on this unusual lot without sacrificing on-site parking.

Additionally, strict application of the three foot side yard setback would result in an approximately three foot gap between the decking and the concrete wall along the property line. Though the applicant's plans indicate a 42 inch stucco railing is proposed to be installed per the California Building Code, the applicant has identified this gap as a safety and maintenance concern.

- Privileges Enjoyed by Others in the Vicinity Deprived to Subject Property:

Without approval of the requested variance, the subject property would be deprived of the ability to enjoy a useable amount of outdoor living space while complying with the maximum lot coverage requirement. Though most surrounding lots are of a similar size to the subject property (at or under 5,000 square feet), their more uniform rectangular shape allows available outdoor space to be more effectively utilized or improved.

- Conditions Necessary to Prevent a Grant of Special Privilege:

In order to prevent a grant of special privilege, staff has recommended a condition of approval to require appropriate fire-rated materials to be installed on the underside of the deck five feet from the deck edge along the entire length of the deck adjacent to the property, in compliance with California Building Code (CBC) safety requirements and subject to approval by the Building Official. As noted previously, a stucco (fire-rated) rail of at least 42 inches in height shall also be installed to address CBC safety requirements. Additionally, staff has recommended a condition of approval that the deck not be covered in any manner such that it would constitute “lot coverage” per BMC 17.02.495, to avoid potential visual impacts of perceived bulk and mass.

Other Considerations

Site inspections revealed an illegal secondary dwelling unit in the lower level of the home, which must be removed. Staff has included conditions of approval requiring verification through the City’s inspection process that the illegal unit has been abated, and to require a Declaration of Restrictions to be recorded against the property to ensure the lower level is not used as a secondary dwelling unit in the future. It should be noted that a secondary dwelling unit could not be permitted on the subject property due to its substandard lot size, per the secondary dwelling unit regulations in BMC Chapter 17.43.

ATTACHMENTS:

- Summary of Project Data
- Draft Resolution V-5-15 with recommended Findings and Conditions of Approval
- Aerial site map
- Site photos submitted by applicant
- Applicant’s supporting statements
- Applicant’s plans

**Summary of Project Data
166 San Benito Road**

ADDRESS	166 San Benito Road			
APN	007-393-010			
ZONING DISTRICT	R-1 Residential			
Development Standard	Existing	Proposed	Standard Min/Max	Status
Lot Area	2,646 sf*	-	5,000 sf	Lot of record
Lot Slope	7%	-	-	Staff's calculation based on topographic data in the property file
Lot Coverage	741 sf or 28%	No change	1,058.4 sf or 40%	Complies with standard
Setbacks (DECK)				
East Side	-	9.9 in	3 ft	Does not comply with standard
Front	-	14 ft	5 ft	Complies with standard
Rear	n/a	n/a	5 ft	Standard does not apply; no rear lot line
Setbacks (ENTRY LANDING)				
West Side	-	3 ft 5 in	3 ft	Complies with standard
Front	-	8 ft, 7 in	17.32.070.A.1.e allows open, uncovered entry stairs, ramps, and landings serving residential properties with 2 or fewer units to encroach anywhere within the front yard setback.	Complies with standard
Height (DECK)	-	9 ft, 8 in (to decking)	28 ft (Lot slope < 20%)	Complies with standard

* Staff's estimate based on survey submitted by applicant.

Draft
 RESOLUTION V-5-15
 A RESOLUTION OF THE PLANNING COMMISSION OF BRISBANE
 APPROVING VARIANCE V-5-15 FOR A
 DECK WITHIN THE EAST SIDE SETBACK OF
 166 SAN BENITO ROAD

WHEREAS, Patrick Mora applied to the City of Brisbane for Variance approval to legalize an elevated wooden deck of approximately 315 square feet in size built into the east side setback area, maintaining a setback of 9.9 inches from the east property line, such application being identified as V-5-15; and

WHEREAS, on February 11, 2016, the Planning Commission conducted a hearing of the application, publicly noticed in compliance with Brisbane Municipal Code Chapters 1.12 and 17.54, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff memorandum relating to said application, and the written and oral evidence presented to the Planning Commission in support of and in opposition to the application; and

WHEREAS, the Planning Commission finds that the proposed project is categorically exempt from the provisions of the California Environmental Quality Act; pursuant to Section 15303(e) of the State CEQA Guidelines; and

WHEREAS, the Planning Commission of the City of Brisbane hereby makes the findings attached herein, as Exhibit A, in connection with the requested Variance;

NOW THEREFORE, based upon the findings set forth hereinabove, the Planning Commission of the City of Brisbane, at its meeting of February 11, 2016 did resolve as follows:

Variance V-5-15 is approved per the findings and conditions of approval attached herein as Exhibit A.

ADOPTED this 11th day of February, 2016, by the following vote:

AYES:
 NOES:
 ABSENT:

 TuongVan Do
 Chairperson

ATTEST:

 JOHN A. SWIECKI, Community Development Director

DRAFT
EXHIBIT A

Action Taken: Conditionally approved Variance V-5-15, per the staff memorandum with attachments, via adoption of Resolution V-5-15.

Findings:

Variance V-5-15

1. The variance shall be subject to the conditions included herein to assure that the adjustment authorized shall not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and within the R-1 zoning district in which the subject property is located.
2. Because of special circumstances applicable to subject property, specifically its triangular shape which limits the area of useable outdoor space, the strict application of this title is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification.

DRAFT

Conditions of Approval: Variance V-5-15

- A. The applicant shall obtain a building permit. Plans submitted for building permit shall substantially conform to plans on file in the City of Brisbane Planning Department dated received January 29, 2016, including the provisions for installation of fire-rated materials in compliance with California Building Code requirements, subject to review and approval by the Building Official.
- B. Prior to issuance of the building permit, abatement of the secondary dwelling unit shall be confirmed by City inspection.
- C. Prior to issuance of the building permit, the property owner shall execute a Declaration of Restrictions to be recorded with the County to indicate that the first floor area shall not be used as a secondary dwelling unit.
- D. The deck shall not be covered in any manner by a roof or other solid covering such that it would be considered lot coverage under BMC §17.02.495.
- E. Drawings depicting all work completed and proposed shall be provided to the satisfaction of the City. Exposure of covered work may also be required to demonstrate compliance with building code requirements.
- F. The permittees agree to indemnify, defend and hold the City and its officers, officials, boards, commissions, employees and volunteers harmless from and against any claim, action or proceeding brought by any third party to attack, set aside modify or annul the approval, permit or other entitlement given to the applicant, or any of the proceedings, acts, or determinations taken, done or made prior to the granting of such approval, permit, or entitlement.
- G. Minor modifications may be approved by the Planning Director in conformance with all requirements of the Municipal Code and California Building Code.
- H. The Variance permit approval shall expire two years from its effective date (at the end of the appeal period) if a Building Permit has not been issued for the approved project or if the Building Permit, once issued, is allowed to expire prior to final inspection.

Aerial Site Map
166 San Benito Road



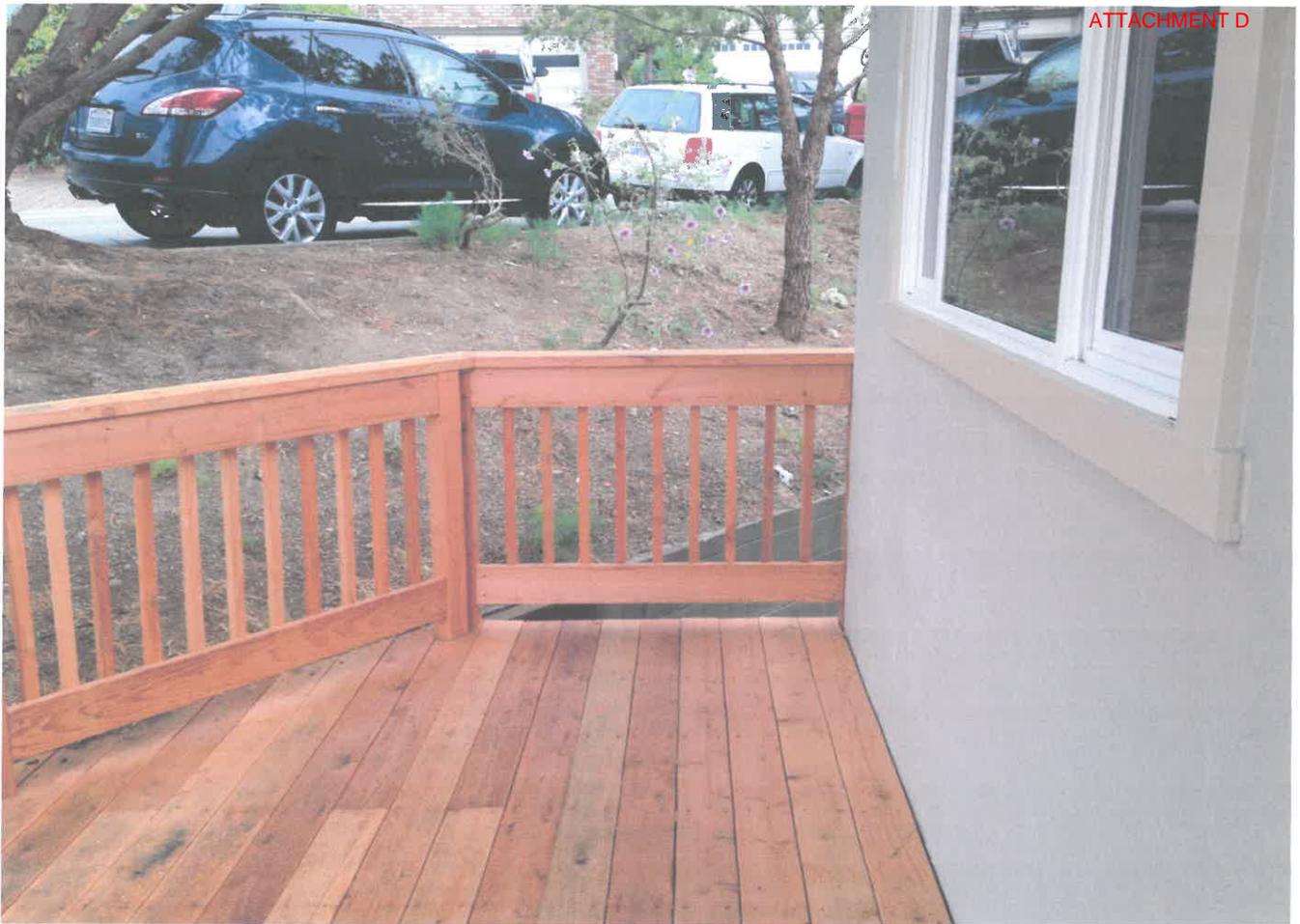


166 SAN BENITO DR.





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166 SAN BENITO DR.



SUPPORTING STATEMENTS

FINDINGS REQUIRED TO GRANT A VARIANCE

Brisbane Municipal Code Section 17.46.010

Applications for variances from the strict application of the terms of this title may be made and variances granted when the following circumstances are found to apply:

A. That any variance granted shall be subject to such conditions as will assure that the adjustment hereby authorized shall not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and district in which the subject property is located.

B. That because of special circumstances applicable to subject property, including size, shape, topography, location or surroundings, the strict application of this title is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification.

What special circumstances, such as size, shape or topography of the property, or its location or surroundings, apply to your site?

This corner lot has a triangular shape and a very large difference in grade elevation between both street sides. From a sloping - 4'0" (Assumed) at the front, facing San Benito Rd., to approx. +15'0" on the side facing Sierra Pt. Rd.

How do these special circumstances impact your site when the Zoning Ordinance is applied to the site? * PLEASE SEE BELOW ALSO.

The side prop. line on Sierra Point Rd. has a very tall (±10'0") retaining wall, from which grade slopes up to the paved portion of the road. The new deck rests on this Ret. wall. The required 3'0" setback would create a gap requiring a protective railing over the Ret. wall, in addition to the deck railing.

What privileges enjoyed by other properties in the vicinity and same zoning district would you be deprived of when the Zoning Ordinance is applied to your site, given its special circumstances?

Complying with the setback increases the construction cost. The new deck closes the unsafe gap and enhances the use of the living unit, which now does not have a terrace or a balcony. This modest deck also enriches the immediate vicinity w/a visually pleasing and desirable open space amenity.

What conditions of approval could be attached to the variance to assure that you comply with the intent of the Zoning Ordinance and other applicable regulations?

One condition of approval would be to require that the owner(s) maintain the railing and the portion of the deck that encroach into the side setback.

- * THE EXISTING AREA BETWEEN THE HOUSE AND THE SIDE RET. WALL IS NOT WELL LOCATED OR SUITED FOR AN OPEN SPACE SIDE YARD. CURRENTLY IT SERVES AS A CARPORT. COMPLYING W/ THE SET BACK WOULD REQUIRE FOOTINGS & POSTS THAT PERHAPS WOULD MAKE THIS AREA NOT USABLE AS A CARPORT.

CORNER RECORD

Document Number _____

Brisbane,

County of San Mateo, California

Brief Legal Description: Lot 1, Block 30 as shown on the subdivision map "City of Visitacion" per Volume 6 of Maps at Page 45 filed in the Official Records of San Mateo County on December 6, 1955.

CORNER TYPE

Government Corner Control
 Meander Property
 Rancho Other
 Date of Survey December 12, 2015

COORDINATES (Optional)

X. _____
 Y. _____
 Zone _____ NAD27 NAD83
 NAD83 Epoch _____
 Elev. _____
 Vert. Datum: NGVD29 NAVD88
 Meas. Units: Metric Imperial

Corner- Left as Found Found and Tagged Established Reestablished Rebuilt

Identification and type of corner found: Evidence used to identify or procedure used to establish or reestablish the corner:

Established two (2) corners of Lot 1, Block 30 as shown on Subdivision Map "City of Visitacion" per Volume 6 of Maps at Page 45 filed in the Official Records of San Mateo County on December 6, 1955. One (1) corner set by a 0.75" Iron Pipe with plastic plug stamped "L.S. 5577", and one (1) corner set by a pk nail and 1.5" aluminum washer stamped "L.S. 5577" in asphalt driveway, from the found Monuments as shown on Page 2 of 2 on the reverse side of this CORNER RECORD.

A description of the physical condition of the monument as found and as set or reset: One (1) 0.75" Iron pipe with plastic Plug, and one (1) pk nail and 1.5" aluminum washer as shown on "PROPERTY CORNERS PLACEMENT" on Page 2 of 2 on the reverse side of this CORNER RECORD. Also, Found Monuments are one (1) City Monument being a pin in 0.75" pipe in monument well with lid, one (1) 0.75" Iron Pipe with plastic plug stamped "L.S. 5577", and one (1) tack and 0.75" brass tag stamped "L.S. 5577" per the record of survey map no. L1642 recorded in Book 28 of LLS Maps at page 64-65.

SURVEYOR'S STATEMENT

This Corner Record was prepared by me or under my direction in conformance with the Land Surveyor's Act on December 19, 2015

Signed Michael S. Mahoney P.L.S No. 5577



COUNTY SURVEYOR'S STATEMENT

This Corner Record was received _____

and examined and filed _____

Signed _____ P.L.S or R.C.E. No. _____

County Surveyor's Comment _____



LEGEND (CONT.)

- ⊙ FOUND 0.75" TACK AND BRASS TAG STAMPED "LS 5577" IN CONCRETE DRAIN (28 LLS 64")
- ⊗ FOUND 0.75" IRON PIPE WITH PLASTIC PLUG STAMPED "LS 5577" (28 LLS 64")
- //// PORCH BOUNDARY

RECEIVED
JAN 20 2016

Comm. Dev. Dept. Brisbane

DECEMBER 19, 2015
SCALE: 1" = 30'

LEGEND

- BOUNDARY LINE/PROPERTY LINE (P/L)
- · — · — LINE OF SURVEY
- - - - BOUNDARY OF PUBLIC UTILITY EASEMENT (PUE)
- ⊙ PK NAIL AND 1.5" ALUMINUM WASHER STAMPED "L.S. 5577" IN ASPHALT DRIVE WAY
- ⊗ SET 0.75" IRON PIPE WITH PLASTIC PLUG STAMPED "L.S. 5577"
- ⊙ FOUND CITY MONUMENT PIN IN 0.75" PIPE IN MONUMENT WELL WITH LID (28 LLS 64)
- APN ASSESSOR'S PARCEL NUMBER

BASIS OF BEARINGS

THE BEARING OF N7°39'00"E, ALONG THE WESTERLY BOUNDARY OF LOT 1 IN BLOCK 30, AS SHOWN ON THE SUBDIVISION MAP, "CITY OF VISITACION", RECORDED IN VOLUME 6 OF MAPS AT PAGE 45 ON DECEMBER 6, 1955 IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY.

PROPERTY CORNERS PLACEMENT
166 SAN BENITO ROAD

BRISBANE,

G.1.16 SAN MATEO COUNTY, CA

Professional Land Services
Michael S. Mahoney, P.L.S.
California License Number : 6577
901 Sneath Lane, #117
San Bruno, CA 94066
Phone/FAX 650-244-9687

- Site Planning
- Title Investigations
- Legal Descriptions
- Surveying & Mapping



GENERAL NOTES (WHERE APPLICABLE)

- IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO ESTABLISH A HIGH QUALITY LEVEL OF MATERIAL AND WORKMANSHIP, BUT NOT NECESSARILY TO NOTE AND CALL FOR EVERY ITEM OF WORK TO BE DONE. ANY ITEM NOT SPECIFICALLY NOTED BUT DEEMED BY THE ARCHITECT TO BE NECESSARY FOR SATISFACTORY COMPLETION OF THE WORK SHALL BE ACCOMPLISHED BY THE CONTRACTOR IN A MANNER CONSISTENT WITH THE QUALITY OF WORK WITHOUT ADDITIONAL COST TO THE OWNER. ALL MATERIAL AND METHODS OF INSTALLATION SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS, MANUFACTURER'S RECOMMENDATIONS AND CODE REQUIREMENTS.
- WORK UNDER THIS CONTRACT SHALL INCLUDE A THOROUGH REVIEW OF ALL DRAWINGS, SPECIFICATIONS, AND EXISTING CONDITIONS. ANY DISCREPANCIES OR DIFFERENCES WITHIN THE AFOREMENTIONED DOCUMENTS MUST BE REPORTED TO THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION. THE FAILURE OF THE CONTRACTOR TO SEEK MODIFICATION OR CHANGE REGARDING A DISCREPANCY SHALL CONSTITUTE AS FULL ACCEPTANCE OF THE CONDITION IN QUESTION BY THE CONTRACTOR. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ALL WORK DEPICTED BY THE CONTRACT DOCUMENTS REGARDLESS OF WHETHER THE SUBCONTRACTORS AGREE AS TO WHOSE JURISDICTION CERTAIN AREAS OF THE SCOPE OF WORK ARE UNDER.
- THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL COMPLY FULLY WITH THE CURRENT REQUIREMENTS OF ALL LOCAL AND STATE REGULATIONS GOVERNING THE PROJECT WORK AND SHALL PAY FOR AND OBTAIN ALL REQUIRED PERMITS, FEES, LICENSES, AND INSPECTIONS REQUIRED. ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE LATEST ADOPTED VERSION OF THE 2010 CALIFORNIA BUILDING CODE, 2010 CALIFORNIA MECHANICAL CODE, 2010 CALIFORNIA ELECTRICAL CODE, 2010 CALIFORNIA PLUMBING CODE, 2010 CALIFORNIA ENERGY CODE, CALIFORNIA FIRE CODE AND 2010 CALIFORNIA RESIDENTIAL CODE.
- ALL SPECIFICATIONS THAT ARE PROPRIETARY SHALL REQUIRE THE CONTRACTOR TO INSTALL THE EXACT BRAND OR MANUFACTURER SPECIFIED UNLESS WRITTEN AUTHORIZATION TO SUBSTITUTE IS OBTAINED FROM THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR WILL BE EXPECTED TO PATCH, REPAIR, AND REFINISH ALL EXISTING SURFACES THAT ARE PART OF THE SURFACES CREATED BY THE NEW WORK. IF EXISTING ADJACENT SURFACES ARE FOUND UNSUITABLE TO PROPERLY RECEIVE FINISHES AS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO COMMENCING THE WORK OR IT WILL BE AGREED THAT THE CONTRACTOR HAS ACCEPTED RESPONSIBILITY FOR THE WORK REQUIRED TO ACHIEVE PROPER FINISHES ON ALL ADJACENT SURFACES.
- IT SHALL BE ASSUMED THAT THE CONTRACTOR AND HIS SUBCONTRACTORS ARE SUFFICIENTLY EXPERIENCED TO BE CONSIDERED QUALIFIED IN THEIR RESPECTIVE WORK RESPONSIBILITIES. THE CONTRACTOR SHALL INSURE THAT THE OWNER RECEIVES ACCEPTABLE WORKMANSHIP COMMON TO THE INDUSTRY FROM ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS AND IS RESPONSIBLE FOR HIRING QUALIFIED STAFF PERSONNEL AND/OR SUBCONTRACTORS AS NECESSARY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF THE WORK THROUGH COMPLETION AND SHALL REPLACE OR REPAIR ALL DAMAGED WORK.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES SO THAT THE WORK MAY PROCEED SAFELY AND COORDINATED AMONG ALL SUBCONTRACTORS AND PERSONNEL INVOLVED. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE IN ADVANCE OF ANY WORK REQUIRED BY PUBLIC UTILITY ENTITIES THAT WILL AFFECT THE COST OR SCHEDULE OF THE WORK.
- THE CONTRACTOR SHALL MEET ALL OSHA REQUIREMENTS AND MAINTAIN A SAFE WORKING CLIMATE FOR ALL PERSONNEL AND OCCUPANTS DURING THE ENTIRE PROJECT. THE JOB SITE IS TO BE KEPT ORDERLY AND AS CLEAN AS POSSIBLE DURING ALL CONSTRUCTION ACTIVITIES.
- IN THE EVENT OF A CONFLICT WITHIN THE CONTRACT DOCUMENTS THE SPECIFICATIONS, THEN THE SPECIFIC NOTES AND DETAILS SHALL TAKE PRIORITY OVER THE GENERAL NOTES AND DRAWINGS WITH REGARD TO CORRECT INTERPRETATION. THE CONTRACTOR SHOULD BRING ANY APPARENT CONFLICT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH THE WORK. FAILURE TO DO SO WILL RESULT IN LIABILITY ON THE CONTRACTOR'S PART.

CONCRETE (SEE STRUCTURAL DRAWINGS)

REINFORCING STEEL (SEE STRUCTURAL DRAWINGS)

CARPENTRY

- ALL FRAMING LUMBER SHALL BE DOUGLAS FIR LARCH (COAST REGION), GRADED AND MARKED IN ACCORDANCE WITH THE STANDARD GRADING RULES NUMBER 16 OF THE WEST COAST LUMBER INSPECTION BUREAU.
 - POSTS AND BEAMS: NO.1 GRADE
 - JOISTS AND RAFTERS: NO.2 GRADE
 - STUDS: STANDARD OR BETTER
 - OTHER MEMBERS: NO.2 OR BETTER
- USE DOUGLAS FIR PLYWOOD IN CONFORMANCE WITH THE U.S. COMMERCIAL STANDARD PS-I. FOR PLYWOOD GRADE AND THICKNESS, SEE FLOOR, SHEAR WALL AND ROOF SHEATHING SCHEDULES. COMMON USES ARE C-D, C-C ON STRUCTURAL II GRADE.
- PROVIDE FULL BEARING AT SUPPORTS, 2" SOLID BLOCKING AT SUPPORTS UNDER PARTITIONS AT ANGLE TO JOISTS. PROVIDE SOLID BLOCKING AT MIDSPAN FOR SPANS 8 FT. TO 16 FT. FOR GREATER SPANS SPACING SHALL NOT EXCEED 8'-0". OMIT BLOCKING FOR ROOF AND CEILING JOISTS 8 INCHES AND UNDER IN DEPTH AND FOR FLOOR JOISTS WHERE GYPBOARD CEILING FRAMING IS ATTACHED DIRECTLY TO UNDERSIDE OF JOISTS. USE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS.
- USE SINGLE BOTTOM PLATE AND DOUBLE TOP PLATE UNLESS OTHERWISE NOTED OR SHOWN. STAGGER JOINTS IN UPPER AND LOWER MEMBERS OF TOP PLATES NOT LESS THAN 4'-0". SPLICE TOP PLATES AS PER STANDARD TOP PLATE SPLICE DETAILS.
- PROVIDE A ROW OF SOLID BLOCKING AT MID-HEIGHT FOR WALLS 10 FT. HIGH AND TALLER.
- UNLESS OTHERWISE NOTED ON SCHEDULES, PROVIDE SILL PLATE ANCHOR BOLTING @ 4'-0" O.C. WITH ONE BOLT NOT MORE THAN 12 INCHES FROM END OF SILL PLATE. PROVIDE MINIMUM OF 2 BOLTS PER SECTION OF PLATE. MINIMUM BOLT SIZE SHALL BE 5/8" DIAMETER AND 10 INCHES LONG WITH MINIMUM 7 INCH EMBEDMENT AND STEEL WASHERS.
- SHEATHING IS TO BE STAGGERED WHERE POSSIBLE. PROVIDE FULL BEARING AT ALL EDGES. IN GENERAL, ABUT AT CENTERLINE OF BEARING. NAIL PER DETAIL OR SCHEDULE.
- WOOD AND LAG SCREWS SHALL BE SCREWED AND NOT DRIVEN INTO PLACE. BEFORE PLACEMENT OF SCREWS, THE HOLES SHALL BE BORED TO THE SAME DIAMETER AND DEPTH OF THE SCREW SHANK. THE HOLES FOR THE THREADED PORTION OF THE SCREWS SHALL BE BORED WITH A BIT NOT LARGER THAN THE DIAMETER OF THE BASE OF THE THREAD.

ELECTRICAL (SEE ELECTRICAL DRAWINGS)

- MANDATORY REQUIREMENTS:
 - A) OUTSIDE OUTLETS. ONE OUTLET AT EACH PATIO/DECK WITH A WATERPROOF COVER AND GFCI.
 - B) DESIGNATED CIRCUITS (IF APPLICABLE). 20 AMP APPLIANCE CIRCUITS IN BASEMENT. PROVIDE SEPARATE CIRCUIT FOR EQUIPMENT - AMPERAGE AS REQUIRED. DISHWASHER, WASHER AND DRYER, ARE TO BE DEDICATED CIRCUITS.
 - C) SMOKE DETECTOR: PER CODE, HARD-WIRED FOR NEW CONSTRUCTION AND BATTERY-OPERATED FOR (E) ROOMS.
- NEW ELECTRICAL WIRING SHALL BE #12 COPPER FOR RECEPTACLES AND #14 COPPER FOR LIGHTS AND SWITCHES.

MECHANICAL (SEE MECHANICAL DRAWINGS)

- EXTEND (E) HEATING SYSTEM TO (N) AREAS AS REQUIRED.

INSULATION:

- ALL BLANKET INSULATION TO BE KRAFT-FACED MINERAL FIBER TYPE:
 - WALLS: R-13 (2X4 STUD) R-19 (2X6 STUD)
 - CEILINGS: R-30
 - FLOORS: R-19 (FRAMED FLOOR SYSTEMS)
 - ROOFS: R-30 (RIGID OR BLANKET)
- ALL EXTERIOR GLAZING TO BE DUAL-GLAZED. ALL WINDOWS AND DOORS TO BE CERTIFIED AND LABELED TO MEET APPROPRIATE INFILTRATION STANDARDS. WINDOWS TO BE FLASHED/W 15# FELTED BUILDING PAPER.
- WEATHER-STRIP ALL NEW DOORS AND WINDOWS B/T CONDITIONED AND UNCONDITIONED SPACES. CAULK ALL OPENINGS IN EXTERIOR WALLS SUCH AS WINDOWS, DOOR FRAMES, LOWER PLATE LINES, BETWEEN EXTERIOR WALL PANELS. CAULK ALL OPENINGS FOR PLUMBING AND ELECTRICAL IN WALLS, CEILINGS AND FLOORS.
- ALL INSULATION MATERIAL TO HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY NOT TO EXCEED 450 PER UBC 1713 (C).

MISCELLANEOUS (WHERE APPLICABLE)

- ALL FOOTINGS SHALL BE FOUNDED ON UNDISTURBED NATIVE SOIL. ALL LOOSE MATERIALS SHALL BE REMOVED FROM SURFACES TO WHICH FOOTING IS TO BE POURED PRIOR TO COMPACTION.
- ROOF VENTING SHALL BE A MINIMUM OF 1:150 OF ROOF AREA (CROSS VENTILATION EITHER BY WAY OF PERFORATED EAVE BLOCKING WITH MESH SCREENS OR ROOF VENT UNITS).
- ALL FRAMING HARDWARE TO BE "SIMPSON STRONG-TIB" OR EQUAL.
- CONTRACTOR TO PROVIDE CLEAN-UP OF ALL CONSTRUCTION DEBRIS AND DISPOSE OF PROPERLY PURSUANT TO LOCAL ORDINANCES.

EXTERIOR (WHERE APPLICABLE)

- MORE THAN THE REQUIRED AMOUNTS OF PERMEABLE AREA; 90 PERCENT OF THE LOT (NOT INCLUDING THE BUILDING FOOTPRINT) IS PERMEABLE, INCLUDING MOST OF THE DRIVEWAY VIA A "PERMEABLE PAVING SYSTEM".
- COMPREHENSIVE RAINWATER AND GROUNDWATER CATCHMENT SYSTEM; 4,000-GALLON UNDERGROUND CISTERN CAPTURES RAIN, ROOF AND GROUNDWATER FOR IRRIGATION NEEDS.
- MINIMUM 25 PERCENT FLY ASH CONTENT IN ALL CONCRETE SITE AND RETAINING WALLS.
- 600-SQUARE-FOOT "LIVING" OR "GREEN" ROOF AND DECK.
- ENERGY STAR COOL ROOF
- SOLAR PV SYSTEM; SOLAR THERMAL (HOT WATER) SYSTEM.
- "THERMALLY BROKEN" DUAL PANE, LOW E, SOLARBAN 60 WINDOWS AND DOORS.
- INNOVATING LED LIGHTING FOR ALL EXTERIOR AND LANDSCAPED LIGHTING; 260 PERCENT BETTER THAN ENERGY STAR LIGHTING REQUIREMENTS.
- PASSIVE SOLAR DESIGN THAT INCORPORATES A UNIQUE ALUMINUM AND STEEL SHADE CANOPY, LARGE UPPER-STORY "EYEBROW" SHADING AND FLOOR-TO-CEILING WINDOWS ORIENTED SOUTH AND WEST.
- OPERABLE WINDOWS AND DOORS DESIGNED TO TAKE ADVANTAGE OF PREVAILING WINDS COMING OFF THE BAY; NO MECHANICAL COOLING REQUIRED.
- USE OF RECYCLED KILN TRAYS FROM HEALTH CERAMICS AS EXTERIOR WALL TILE AND PAVERS.
- RAIN SCREEN WALL SYSTEM (CREATES AN AIR CAVITY BETWEEN SIDING AND WATERPROOFING MATERIAL).

TYPICAL BATHROOM (SEE MECHANICAL DRAWINGS)

- MIN. 5 AIR CHANGES x HOUR EXHAUST FAN WITH BACK DRAFT DAMPER
- TERMINATE VENT MIN. 3'-0" FROM PROPERTY LINE.
- PROVIDE FLUORESCENT LIGHT FIXTURE

SMOKE DETECTOR NOTES:

- ALL SMOKE DETECTORS MUST BE HARDWIRED OR WITH BATTERY BACKUP PER CBC 310.9.1.3 10 YEAR BATTERY CHARGED. VERIFY ALL EXISTING SMOKE DETECTORS.
- BATTERY OPERATED SMOKE DETECTORS ARE PERMITTED IN EXISTING CONSTRUCTION.

SCOPE OF WORK

- LEGALIZATION OF NEW DECK OFF MAIN FLOOR OF EXISTING HOUSE.
- NEW ENTRY UTILITY/GARAGE ENTRY LANDING.

LEGEND	DESCRIPTION	LEGEND	DESCRIPTION
	(E) MASONRY BRICK WALL		LIGHT + MOTION ACTIVATED
	(E) WALL		EXHAUST FAN
	(N) WALL		RECESSED LIGHT FIXT., TYP.
	(N) 1 HR. WALL		DUPLEX RECEPTACLE
	(N) 2 HR. WALL		LIGHT SWITCH
	(E) WALL TO BE REMOVED		LIGHT SWITCH, THREE WAY
			DUPLEX RECEPTACLE, GROUND FAULT INTERRUPTING TYPE



LIST OF DRAWINGS

- A1 SITE PLAN, PROJECT DATA, GEN. NOTES & LOC. MAP.
- A2 (E) & (N) 1ST FLOOR PLAN AND MAIN FLOOR PLAN.
- A3 (E) & PROPOSED ELEVATIONS (FRONT AND REAR) & ARCHITECTURAL DETAILS.
- A4 (E) & PROPOSED ELEVATIONS (WEST & EAST) & ARCH. DETAILS.

PROJECT DATA

JOB ADDRESS: 166 SAN BENITO RD. BRISBANE, CALIFORNIA

LOT AREA: 2,646 SQ. F.

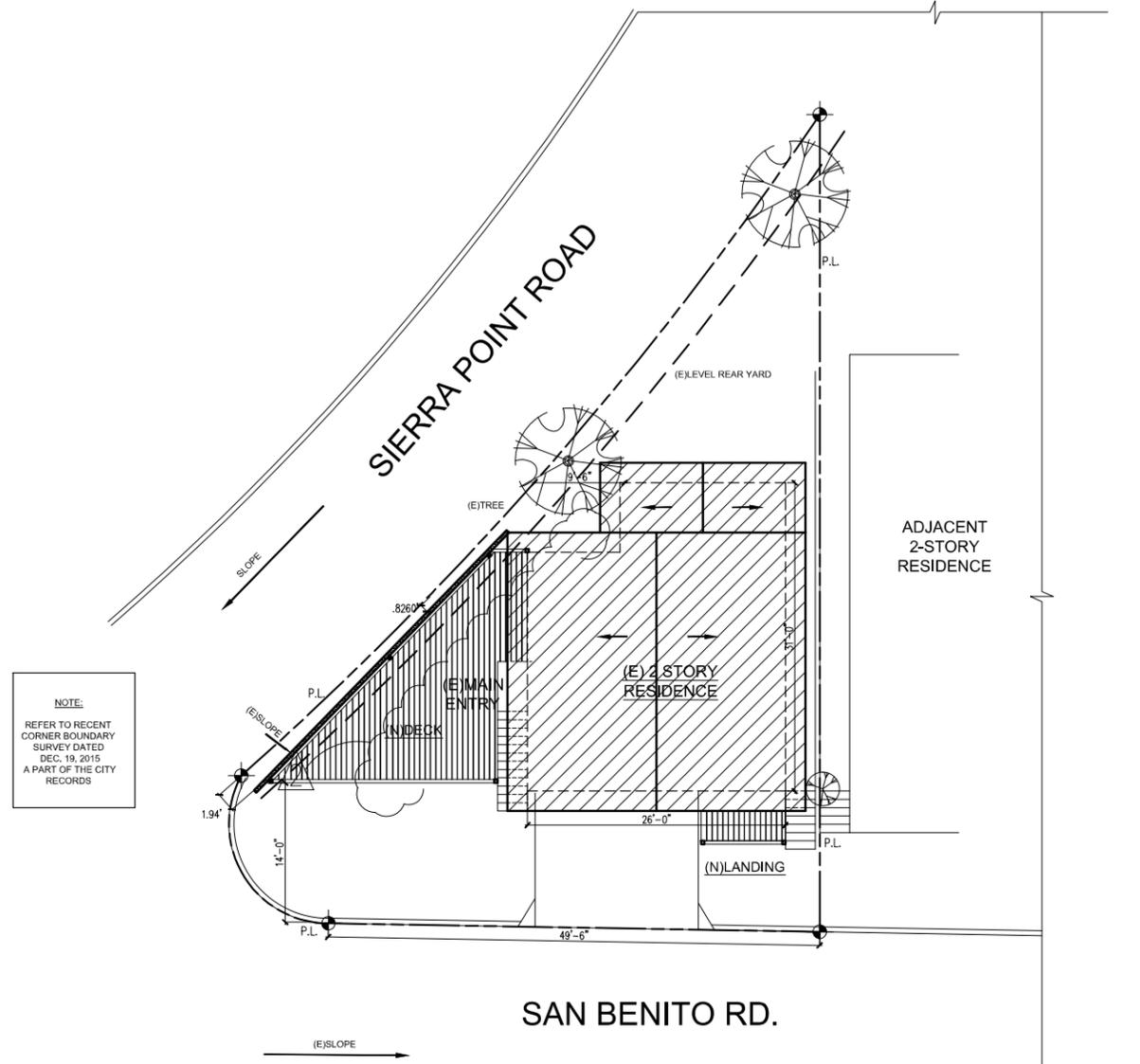
BLOCK/LOT: (APN) 1418 / 010

ZONING DISTRICT: R1

CONSTRUCTION TYPE: V-B

OCCUPANCY GROUP: RH-1

BUILDING AREAS: (APPROXIMATE)	(E)	(N)
(E) HOUSE GR. FLR. (GARAGE & FAM. RM)	741	
(E) HOUSE MAIN FLOOR	741	
(N) DECK		315
(N) GARAGE - ENTRY LANDING		65
(E) TOTAL HOUSE	1,482	



1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

G.1.17

REVISIONS	BY
COMMENTS	09-08-15
PLAN REVIEW COMMENTS	10-23-15
BOUNDARY UPDATE	01-29-16

MORA ARCHITECTS
PLANNING & ENGINEERING

115 VALENCIA STREET
SAN FRANCISCO CA 94103
TEL: (415)431-8601
FAX: (415)431-5362
e-mail: pmorarch@aol.com



Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for all dimensions shown. Shop drawings must be submitted to this office for approval before proceeding with fabrication.

DECK ADDITION
FOR MR. ALFREDO ACUCHI

166 SAN BENITO RD.
BRISBANE, CALIFORNIA

DRAWINGS:	GENERAL NOTES
SITE PLAN	
LOCATION MAP	
PROJECT DATA	
DRAWN: A.G.	
CHECKED: P.M.	
DATE: 07-15-15	
SCALE: 1/8"=1'-0"	
JOB NO.: 15126	
SHEET: 1	
OF 4 SHEETS	

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REVISIONS	BY
PLAN REVIEW COMMENTS	09-08-15
PLAN REVIEW COMMENTS	10-23-15
BOUNDARY UPDATE	01-29-16

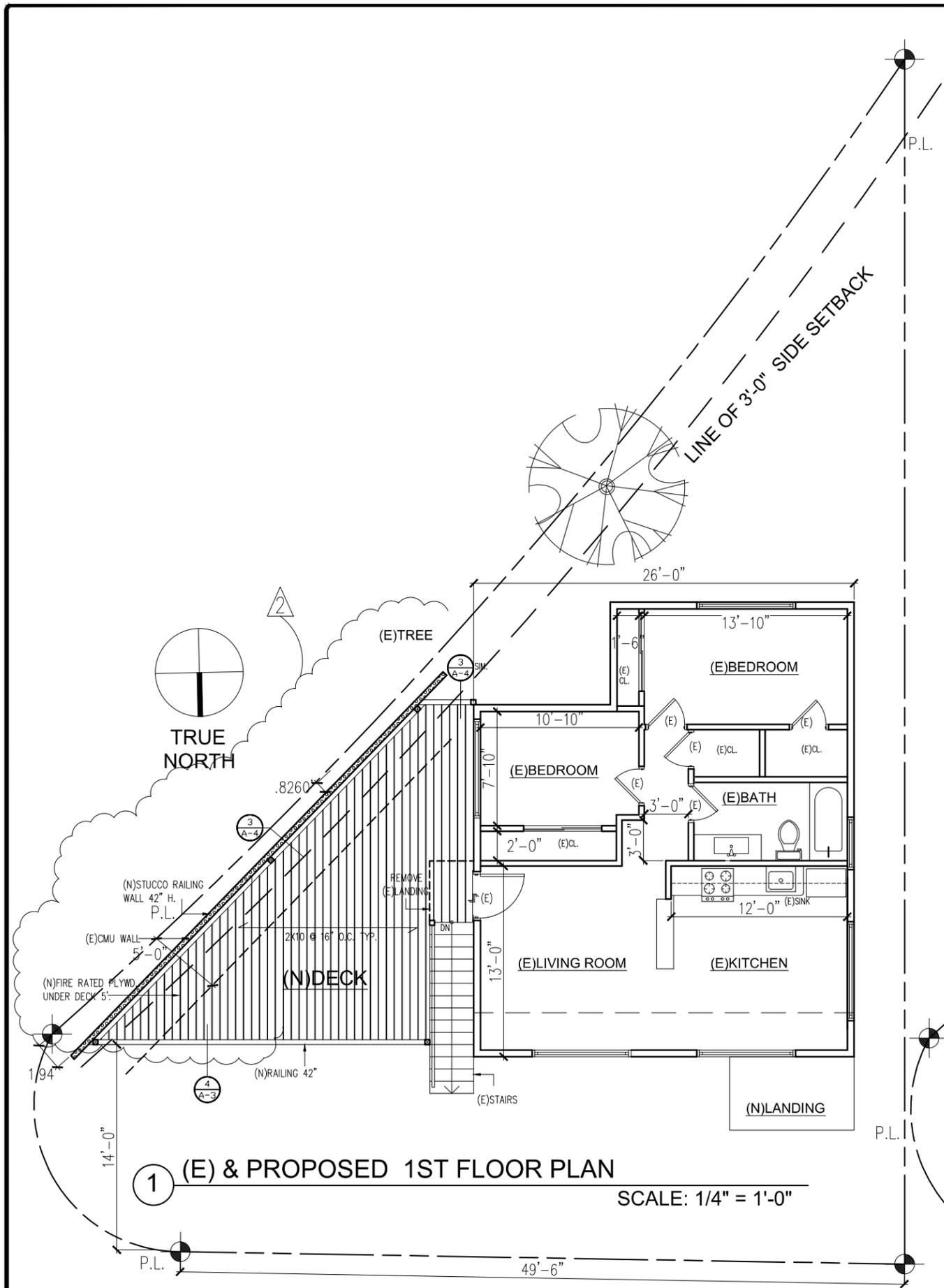
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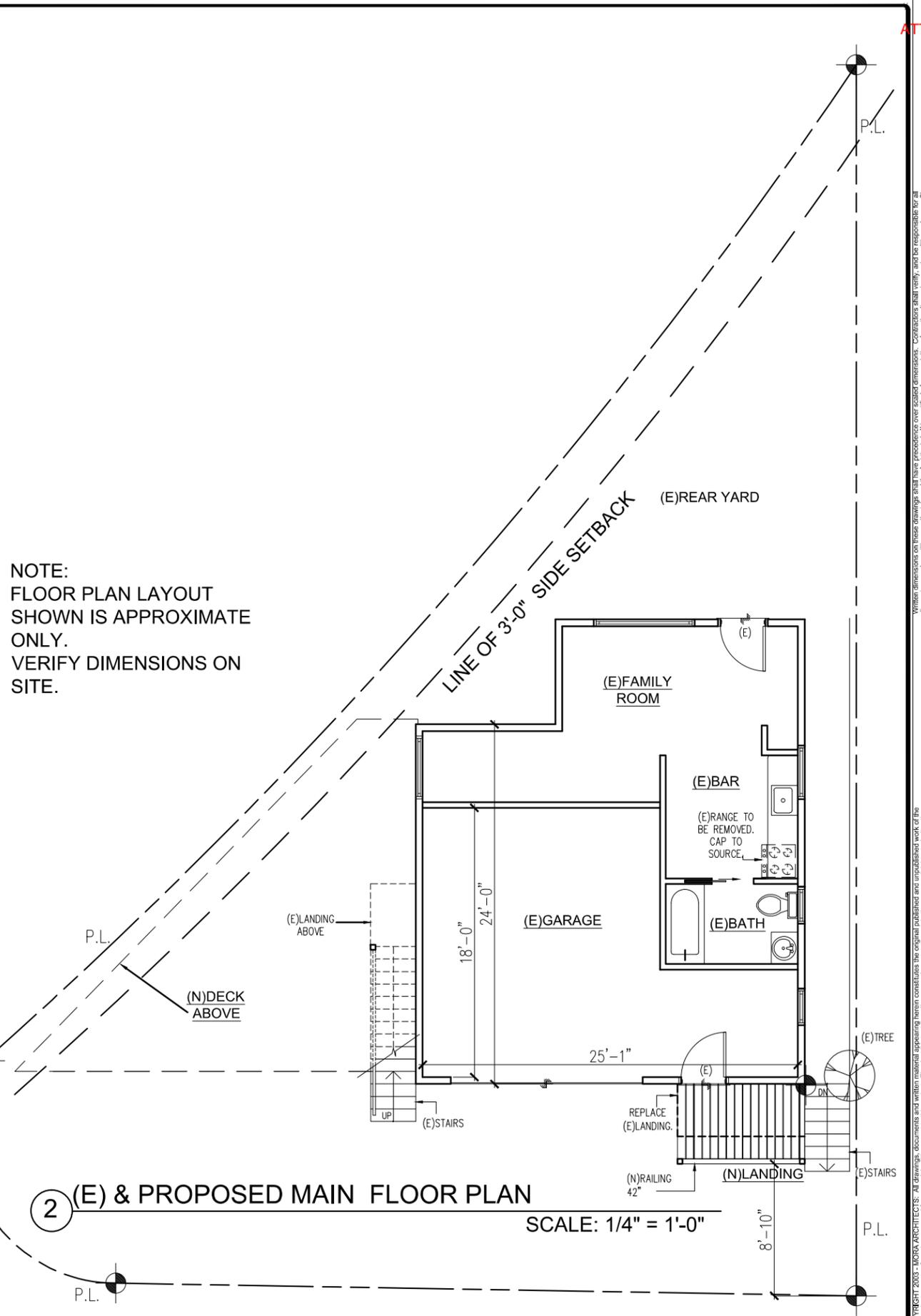
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ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. THE ARCHITECT SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.



1 (E) & PROPOSED 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 (E) & PROPOSED MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE:
FLOOR PLAN LAYOUT
SHOWN IS APPROXIMATE
ONLY.
VERIFY DIMENSIONS ON
SITE.

G.1.18

DECK ADDITION
FOR MR. ALFREDO ACUCHI
166 SAN BENITO RD.
BRISBANE, CALIFORNIA

DRAWINGS:
(E) & PROPOSED
1ST. & 2ND
FLOOR PLANS.

DRAWN: A.G.
CHECKED: P.M.
DATE: 07-15-15
SCALE: 1/4"=1'-0"
JOB NO.: 15126
SHEET:

A2

OF 4 SHEETS

REVISIONS	BY
△ COMMENTS	09-08-15
△ PLAN REVIEW COMMENTS	10-23-15
△ BOUNDARY UPDATE	01-29-16

MORA ARCHITECTS
PLANNING & ENGINEERING



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LICENSED ARCHITECT
PATRICIA IVAN BOON
C15322
REN. 9/30/17
STATE OF CALIFORNIA

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DECK ADDITION
FOR MR. ALFREDO ACUCHI

166 SAN BENITO RD.
BRISBANE, CALIFORNIA

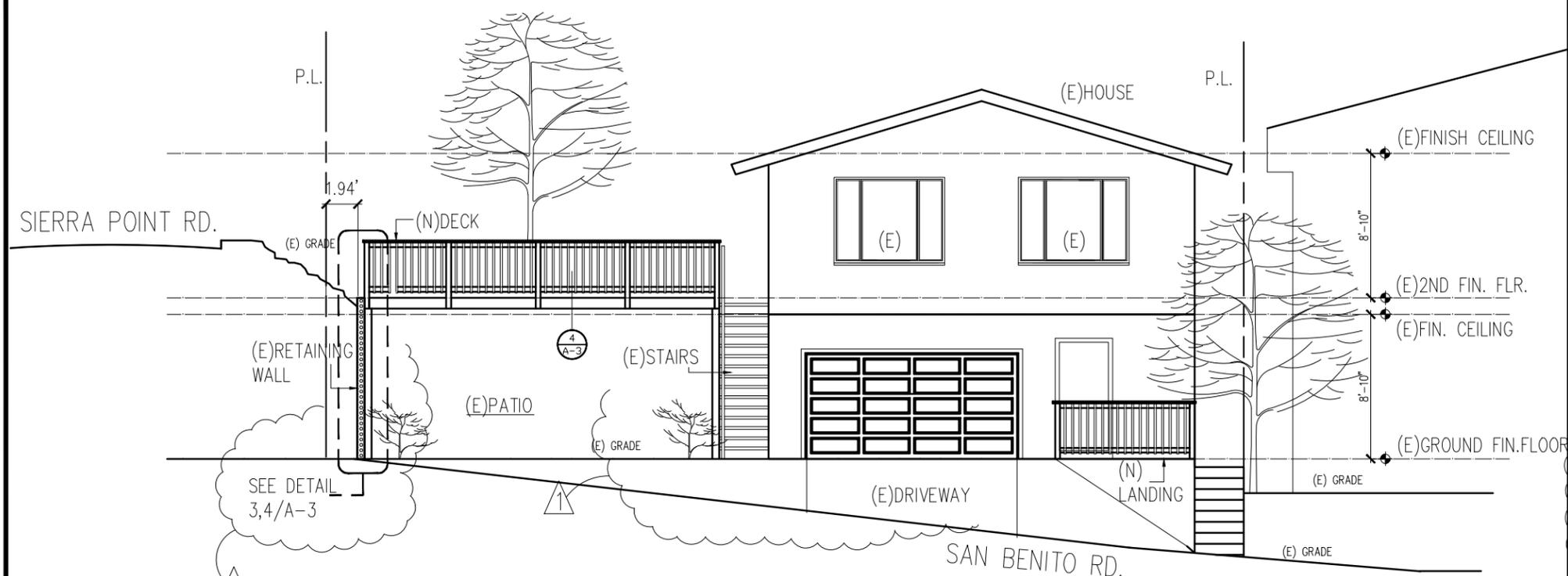
DRAWINGS:
(E) & PROPOSED FRONT & REAR ELEVATIONS & ARCH. DETAILS

DRAWN: A.G.
CHECKED: P.M.
DATE: 07-15-15
SCALE: 1/4"=1'-0"
JOB NO.: 15126

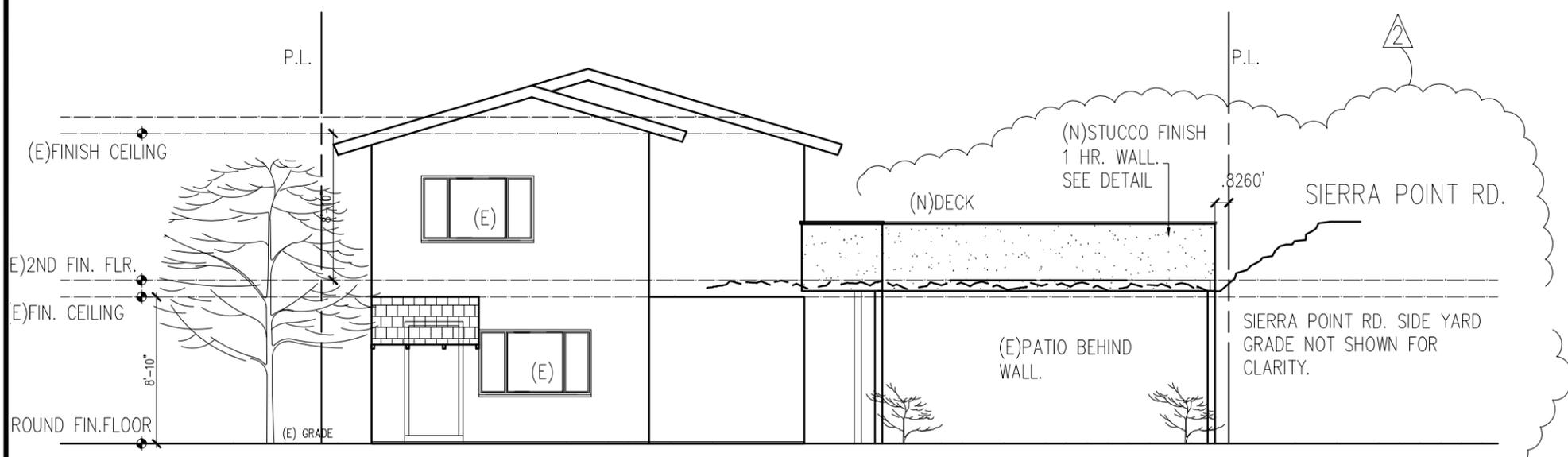
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A3

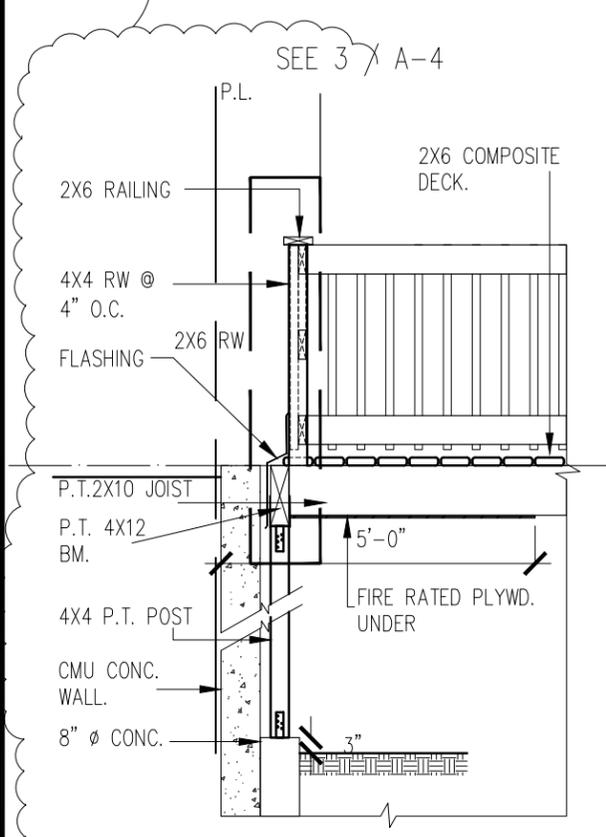
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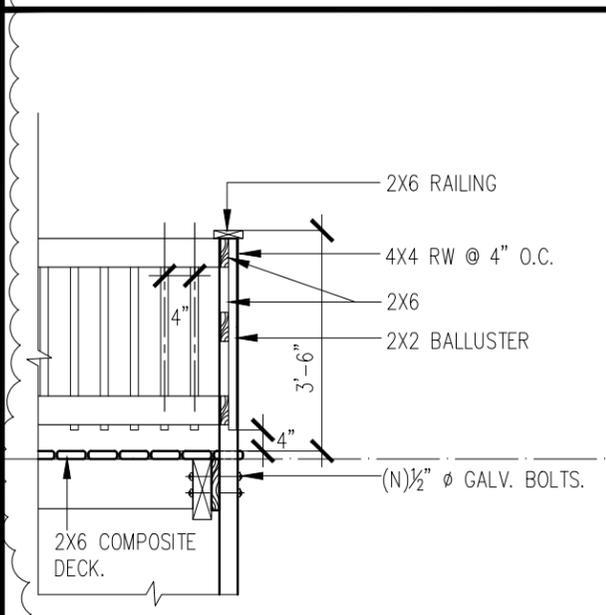
1 (E) & PROPOSED FRONT ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"



2 (E) & PROPOSED REAR ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"



3 SECTION @ CMU WALL SCALE: 3/4" - 1'-0"



4 SECTION @ RAILING WALL SCALE: 3/4" - 1'-0"

REVISIONS	BY
PLAN REVIEW COMMENTS	09-08-15
PLAN REVIEW COMMENTS	10-23-15
BOUNDARY UPDATE	01-29-16

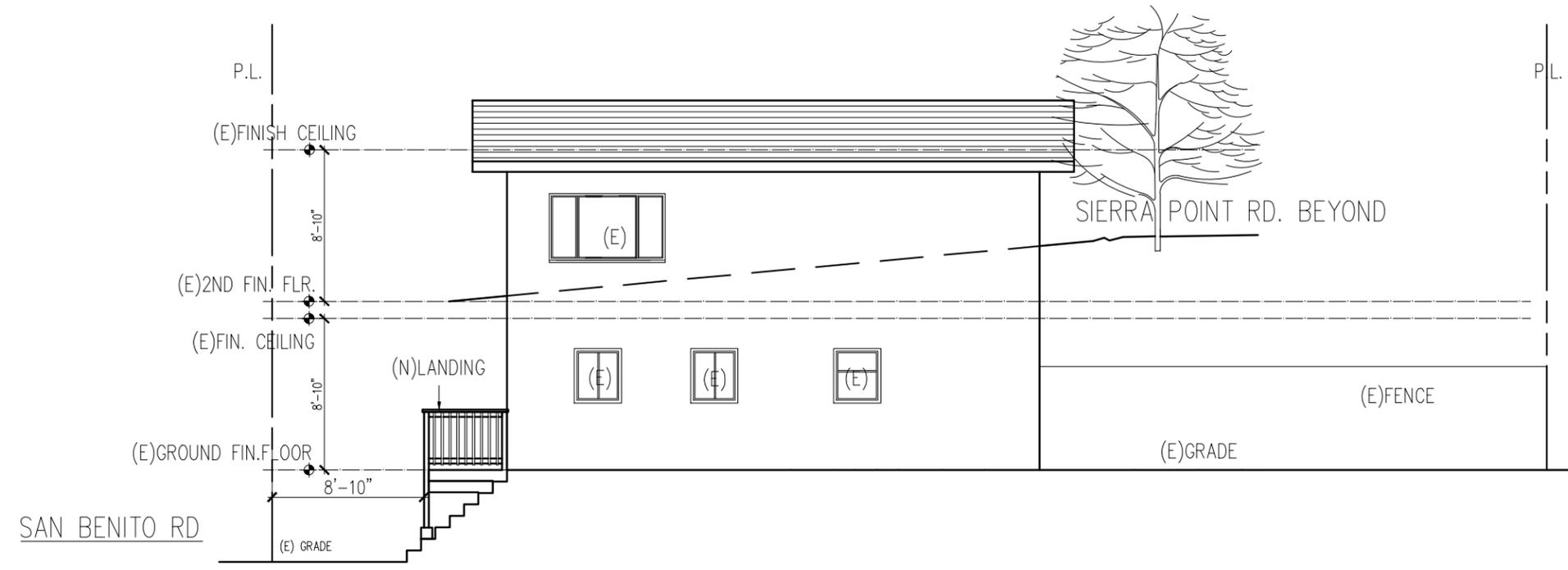
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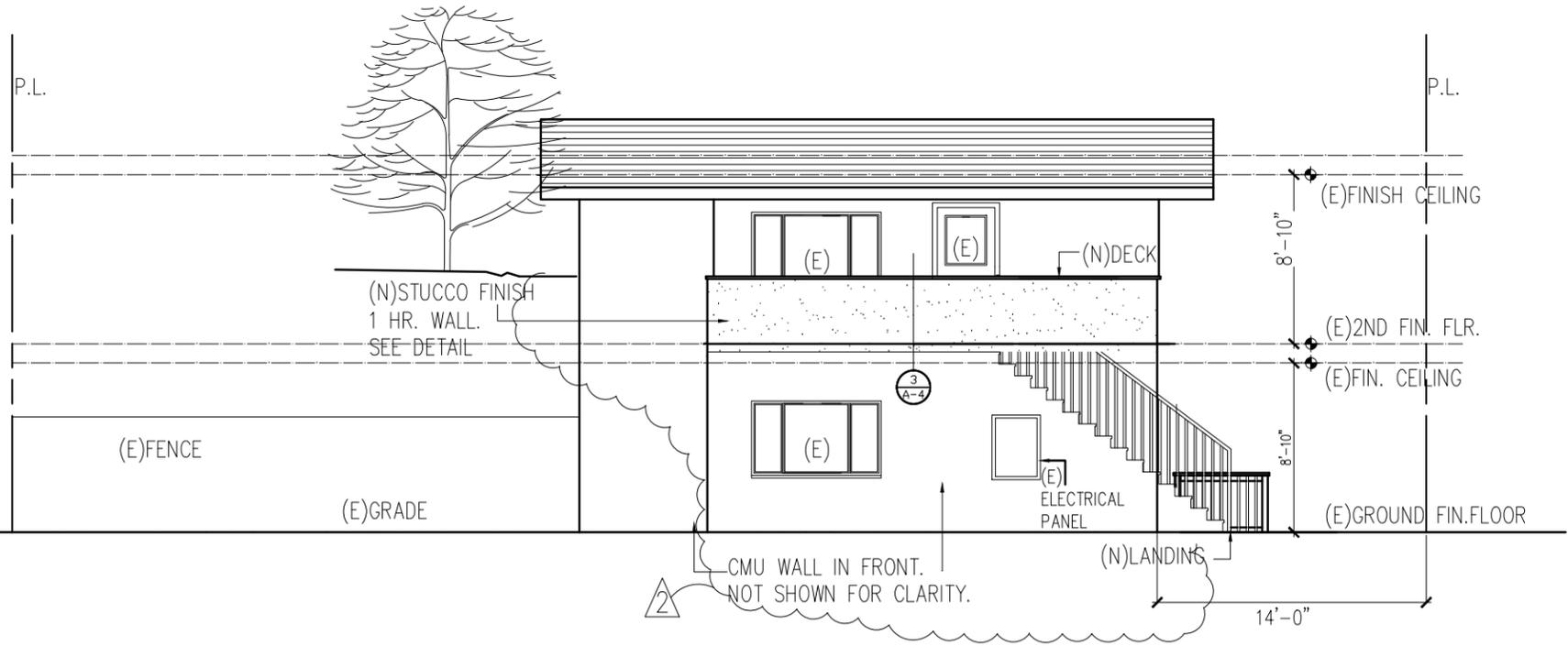
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e-mail: pmorarch@aol.com



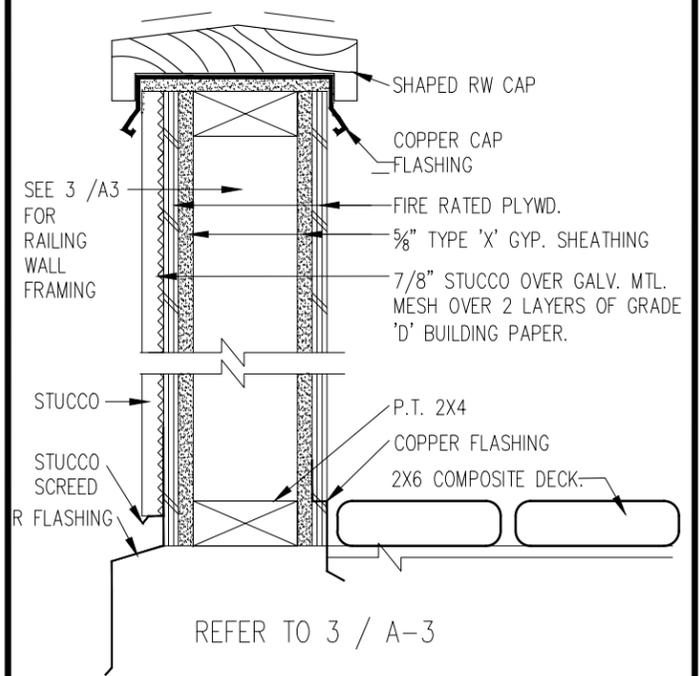
Without limitation on these drawings, the Architect shall be responsible for the accuracy of the dimensions and conditions shown on the job, and the Architect shall be notified of any variations from the dimensions and conditions shown. Shop details must be submitted to the office for approval before proceeding with fabrication.



1 (E) & PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 (E) & PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 SECTION 1-HR WALL
N.T.S.

DECK ADDITION
FOR MR. ALFREDO ACUCHI
166 SAN BENITO RD.
BRISBANE, CALIFORNIA

DRAWINGS:

(E) & PROPOSED ELEVATIONS & ARCH. DETAILS.

DRAWN:	A.G.
CHECKED:	P.M.
DATE:	07-15-15
SCALE:	1/4"=1'-0"
JOB NO.:	15126
SHEET:	