

# *City of Brisbane*

## *Planning Commission Agenda Report*

**TO:** Planning Commission For the Meeting of 6/26/2018

**FROM:** Julia Capasso, Associate Planner, via John Swiecki, Community Development Director

**SUBJECT:** **Tentative Parcel Map TPM-1-17; 661 San Bruno Avenue; R-3 Residential District;** Establishment of a new four-unit condominium development on a 6,874 square foot lot; Stephen R. Johnson, applicant/owner.

**REQUEST:** The applicant proposes to demolish an existing single-family residence on a 6,874 square foot property and construct a four-unit condominium building. This project has previously received Design Permit, Variance, Use Permit, and Fence Exception approval from the Planning Commission on June 12, 2018 for the project design.

The subject property, developed with a single-family dwelling, is comprised of two underlying legal lots of record that appear in the City of Visitation Subdivision Map recorded for Central Brisbane. However, because condominium developments are considered a “subdivision” of land under the State Subdivision Map Act and the City’s Subdivision Ordinance, Planning Commission approval of a Tentative Parcel Map is required to establish the project as a condominium development.

**RECOMMENDATION:** Conditionally approve Tentative Parcel Map TPM-1-17 per the staff memorandum with attachments, via adoption of Resolution TPM-1-17 with Exhibit A containing the findings and conditions of approval.

**ENVIRONMENTAL DETERMINATION:** Demolition of existing structures is categorically exempt from the provisions of the California Environmental Quality Act per Section 15301(l)(1) of the State CEQA Guidelines. Construction of a four-unit multi-family residential structure is categorically exempt from the provisions of the California Environmental Quality Act per Section 15303(b) of the State CEQA Guidelines. The exceptions to these categorical exemption referenced in Section 15300.2 do not apply.

**APPLICABLE CODE SECTIONS:** Subdivisions are regulated by the State Subdivision Map Act, beginning in Section 66410 of the Government Code. Brisbane’s Subdivision Ordinance is contained in Title 16 of the Brisbane Municipal Code (BMC). Condominium developments of fewer than five units require Tentative Parcel Map approval per BMC Section 16.12.030.

### **ANALYSIS AND FINDINGS:**

#### Project Description

The subject property is approximately 6,874 square foot in size with a 14% northwest cross-slope upward from San Bruno Avenue. The applicant proposes to demolish the existing single-

family dwelling and construct a four-unit condominium development with six podium parking spaces and storage on the ground floor, and two levels of residential above. The project is described in detail in the June 12, 2018 Planning Commission staff report for the approved Design Permit, Variance, Use Permit, and Fence Exception, which is attached for the Commission's reference.

### **Tentative Parcel Map Findings**

In order to approve a Tentative Parcel Map, the Planning Commission must make the following findings, contained in BMC Section 16.16.220. The project meets all required findings, as detailed in the analysis below.

- A. The tentative map, together with the provisions of its design and improvement, is consistent with the general plan and any applicable specific plan.

The project meets this finding. As detailed in the attached June 12, 2018 agenda report for the Design Permit and associated discretionary permit approvals for the project, development of a four-unit condominium development at the subject property would represent a density of 19 Dwelling Units per Acre, consistent with the General Plan's land use designation of Residential: 15-30 Dwelling Units per Acre. Consistent with the General Plan's policies requiring diversity and individual expression and encouraging quality construction, and the Subarea Policies for Central Brisbane to keep the existing scale, character and intensity of residential neighborhoods, the project's design is cohesive and attractive, provides all units with cross ventilation, and will include solar panels. The project would accommodate an increase in housing density on the site consistent with applicable General Plan policies and zoning regulations in a manner that is compatible with the existing scale and character of development within the San Bruno Avenue corridor and R-3 Residential zoning district. Per Circulation Element Policy C.51, Condition of Approval 3.C of the Design Permit (refer to attached June 12, 2018 agenda report) requires the applicant to incorporate "green street" design in the building permit application to reduce the impacts of the project on storm water resources.

- B. The real property to be subdivided, and each lot or parcel to be created is of such character that it can be used safely for building purposes without danger to health or peril from fire, flood, geologic hazard or other menace.

The project meets this finding. The subject property is not located within a mapped flood hazard area. Application of current California Building Code requirements, in addition to the City's Building Ordinance contained in BMC Title 15, and the City's provisions in BMC Title 12 for street and sidewalk design will ensure that the proposed structure is properly designed, engineered, and constructed to minimize potential dangers posed by fire, earthquakes, or other natural events.

- C. Each lot or parcel to be created will constitute a buildable site and will be capable of being developed in accordance with the applicable provisions of the zoning ordinance.

The project meets this finding. With the approved Variance (building height), Use Permit (modified drive aisle width and parking space dimensions), and Fence Exception (fence height fence in north side yard), the proposed condominium project complies with all applicable zoning

regulations of the R-3 District and for condominium developments per BMC Chapter 17.30. The project design and associated discretionary permits are described in detail in the attached June 12, 2018 agenda report.

D. The site is physically suitable for the type and proposed density of development.

The project meets this finding. At just under 6,900 square feet in size, the subject property exceeds the 5,000 square foot lot minimum size requirement of the R-3 District as well as the 6,000 square foot lot size minimum required to accommodate four residential units per the density requirements in BMC Section 17.10.040. The site abuts an improved public right-of-way (San Bruno Avenue) and is served by existing utilities. The lot width allows for adequate and safe on-site circulation, including vehicle turnaround to prevent cars from backing out onto San Bruno Avenue, and a driveway width to accommodate simultaneous ingress and egress of vehicles to and from the site.

E. The design of the subdivision and improvements, and the type of improvements is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat, or to cause serious public health problems.

The project meets this finding. The proposed condominium subdivision and associated site improvements are categorically exempt from the California Environmental Quality Act. The property is located in an urbanized, built environment and is not located within a sensitive habitat area. Project design, engineering, and construction shall be subject to current California Building Code requirements, as well as the City's standards for building, street and utility improvements contained in Titles 12 and 15 of the Brisbane Municipal Code, which together will ensure the safety of the project both during and post-construction for neighbors and future residents.

F. The design of the subdivision or type of improvements will not conflict with easement, acquired by the public at large, for access through, or use of, property within the proposed subdivision. The planning commission may approve a map if it finds that alternate easements for access or for use will be provided, and that these will be substantially equivalent to ones previously acquired by the public. This subsection shall only be applicable to easements of record or easements established by judgment in a court of competent jurisdiction.

The project meets this finding. An existing private sewer easement is mapped on the tentative parcel map, which is accounted for in the project design and may be replaced as a result of the negotiations required by Condition of Approval 4 of the approving Resolution for the Design Permit and associated discretionary permits between the City Engineer, the applicant, and neighboring properties benefitting from the easement. No other easements, public or private, are recorded on the property.

G. The design of the subdivision will provide for future passive or natural heating or cooling opportunities, to the extent feasible, in terms of being accomplished in a successful manner within a reasonable period of time, taking into account economic, environmental, social and technological factors.

1. Examples of passive or natural heating and cooling opportunities in subdivision design include design of lot size configuration to permit orientation of a structure in an east-west alignment for southern exposure and to take advantage of shade or prevailing breezes.

2. In providing for future passive or natural heating or cooling opportunities in the design of the subdivision, consideration has been given to local climate, contour and configuration of the parcel to be subdivided, and to other design and improvement requirements, without resulting in reduced allowable densities or the percentage of a lot which may be occupied by a building or structure under the zoning ordinance as applicable at the time of filing of the tentative map.

The project meets this finding. As the subject property is comprised of two underlying subdivision lots and is abutted on all sides by other recorded subdivision lots, the project is geographically constrained from completely conforming to the best practices for passive design compared to a brand new subdivision. However, the existing property is oriented roughly east-west and the proposed building will be similarly oriented to take advantage of southern exposure.

**ATTACHMENTS:**

1. Draft Resolution with Findings and Conditions of Approval
2. Tentative Parcel Map and attachments
3. June 12, 2018 Planning Commission agenda report for the project Design Permit, Variance, Use Permit, and Fence Exception

# ATTACHMENT 1

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DRAFT  
RESOLUTION TPM-1-17

A RESOLUTION OF THE PLANNING COMMISSION OF BRISBANE  
CONDITIONALLY APPROVING TENTATIVE PARCEL MAP TPM-1-17  
FOR A FOUR-UNIT CONDOMINIUM DEVELOPMENT  
AT 661 SAN BRUNO AVENUE

WHEREAS, Steve Johnson, applicant and owner, applied to the City of Brisbane for Tentative Parcel Map approval for a four-unit condominium project at 661 San Bruno Avenue, such application being identified as Tentative Parcel Map TPM-1-17; and

WHEREAS, on June 26, 2018, the Planning Commission conducted a public hearing of the application, publicly noticed in compliance with Brisbane Municipal Code Chapters 1.12 and 16.16, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff memorandum relating to said application, the plans and photographs, the written and oral evidence presented to the Planning Commission in support of and in opposition to the application; and

WHEREAS, the Planning Commission finds that the proposed project is categorically exempt from the provisions of the California Environmental Quality Act per Sections 15301(l)(L) and 15303(b) of the State CEQA Guidelines, and the exceptions to these categorical exemption referenced in Section 15300.2 do not apply; and

WHEREAS, the Planning Commission of the City of Brisbane hereby makes the findings attached herein as Exhibit A in connection with the Tentative Parcel Map.

NOW THEREFORE, based upon the findings set forth hereinabove, the Planning Commission of the City of Brisbane, at its meeting of June 26, 2018, did resolve as follows:

Tentative Parcel Map TPM-1-17 is approved per the findings and conditions of approval attached herein as Exhibit A.

ADOPTED this 26<sup>th</sup> day of June, 2018, by the following vote:

AYES:  
NOES:  
ABSENT:

\_\_\_\_\_  
COLEEN MACKIN  
Chairperson

ATTEST:

\_\_\_\_\_  
JOHN SWIECKI, Community Development Director

## EXHIBIT A

**Action Taken:** Conditionally approved Tentative Parcel Map TPM-1-17 per the staff memorandum with attachments, via adoption of Resolution TPM-1-17.

### Tentative Parcel Map TPM-1-17

#### Findings:

- A. The tentative map, together with the provisions of its design and improvement, is consistent with the general plan and any applicable specific plan.

The project meets this finding. As detailed in the attached June 12, 2018 agenda report for the Design Permit and associated discretionary permit approvals for the project, development of a four-unit condominium development at the subject property would represent a density of 19 Dwelling Units per Acre, consistent with the General Plan's land use designation of Residential: 15-30 Dwelling Units per Acre. Consistent with the General Plan's policies requiring diversity and individual expression and encouraging quality construction, and the Subarea Policies for Central Brisbane to keep the existing scale, character and intensity of residential neighborhoods, the project's design is cohesive and attractive, provides all units with cross ventilation, and will include solar panels. The project would accommodate an increase in housing density on the site consistent with applicable General Plan policies and zoning regulations in a manner that is compatible with the existing scale and character of development within the San Bruno Avenue corridor and R-3 Residential zoning district. Per Circulation Element Policy C.51, Condition of Approval 3.C of the Design Permit (refer to attached June 12, 2018 agenda report) requires the applicant to incorporate "green street" design in the building permit application to reduce the impacts of the project on storm water resources.

- B. The real property to be subdivided, and each lot or parcel to be created is of such character that it can be used safely for building purposes without danger to health or peril from fire, flood, geologic hazard or other menace.

The project meets this finding. The subject property is not located within a mapped flood hazard area. Application of current California Building Code requirements, in addition to the City's Building Ordinance contained in BMC Title 15, and the City's provisions in BMC Title 12 for street and sidewalk design will ensure that the proposed structure is properly designed, engineered, and constructed to minimize potential dangers posed by fire, earthquakes, or other natural events.

- C. Each lot or parcel to be created will constitute a buildable site and will be capable of being developed in accordance with the applicable provisions of the zoning ordinance.

The project meets this finding. With the approved Variance (building height), Use Permit (modified drive aisle width and parking space dimensions), and Fence Exception (fence height fence in north side yard), the proposed condominium project complies with all applicable zoning regulations of the R-3 District and for condominium developments per BMC Chapter 17.30. The project design and associated discretionary permits are described in detail in the attached June 12, 2018 agenda report.

- D. The site is physically suitable for the type and proposed density of development.

The project meets this finding. At just under 6,900 square feet in size, the subject property exceeds the 5,000 square foot lot minimum size requirement of the R-3 District as well as the 6,000 square foot lot size minimum required to accommodate four residential units per the density requirements



in BMC Section 17.10.040. The site abuts an improved public right-of-way (San Bruno Avenue) and is served by existing utilities. The lot width allows for adequate and safe on-site circulation, including vehicle turnaround to prevent cars from backing out onto San Bruno Avenue, and a driveway width to accommodate simultaneous ingress and egress of vehicles to and from the site.

- E. The design of the subdivision and improvements, and the type of improvements is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat, or to cause serious public health problems.

The project meets this finding. The proposed condominium subdivision and associated site improvements are categorically exempt from the California Environmental Quality Act. The property is located in an urbanized, built environment and is not located within a sensitive habitat area. Project design, engineering, and construction shall be subject to current California Building Code requirements, as well as the City's standards for building, street and utility improvements contained in Titles 12 and 15 of the Brisbane Municipal Code, which together will ensure the safety of the project both during and post-construction for neighbors and future residents.

- F. The design of the subdivision or type of improvements will not conflict with easement, acquired by the public at large, for access through, or use of, property within the proposed subdivision. The planning commission may approve a map if it finds that alternate easements for access or for use will be provided, and that these will be substantially equivalent to ones previously acquired by the public. This subsection shall only be applicable to easements of record or easements established by judgment in a court of competent jurisdiction.

The project meets this finding. An existing private sewer easement is mapped on the tentative parcel map, which is accounted for in the project design and may be replaced as a result of the negotiations required by Condition of Approval 4 of the approving Resolution for the Design Permit and associated discretionary permits between the City Engineer, the applicant, and neighboring properties benefitting from the easement. No other easements, public or private, are recorded on the property.

- G. The design of the subdivision will provide for future passive or natural heating or cooling opportunities, to the extent feasible, in terms of being accomplished in a successful manner within a reasonable period of time, taking into account economic, environmental, social and technological factors.
3. Examples of passive or natural heating and cooling opportunities in subdivision design include design of lot size configuration to permit orientation of a structure in an east-west alignment for southern exposure and to take advantage of shade or prevailing breezes.
  4. In providing for future passive or natural heating or cooling opportunities in the design of the subdivision, consideration has been given to local climate, contour and configuration of the parcel to be subdivided, and to other design and improvement requirements, without resulting in reduced allowable densities or the percentage of a lot which may be occupied by a building or structure under the zoning ordinance as applicable at the time of filing of the tentative map.

The project meets this finding. Considering that the subject property is comprised of two underlying subdivision lots and is abutted on all sides by other recorded subdivision lots, the project is geographically constrained from completely conforming to the best practices for passive design

compared to a brand new subdivision. However, the existing property is oriented roughly east-west and the proposed building will be similarly oriented to take advantage of southern exposure.

**Tentative Parcel Map TPM-1-17  
Conditions of Approval:**

1. The city reserves the right to require the subdivider to provide easements for public utilities as needed, to be determined by the City Engineer during review of the final map.
2. Prior to recordation of the final map, the applicant shall make the following modifications:
  - a. The final map shall include a note that the information provided in the record document for the private sanitary sewer easement indicates missing information and no clear tie to the exterior boundary or to the block, and that its approximate location shall be based upon field locating of the sewer pipe.
  - b. The boundary resolution will be reviewed by the City Surveyor along with the final map.
3. Prior to recordation of the final map, an improvement plan for improvements within the public right-of-way prepared by a registered civil engineer shall be submitted to the city for approval.
4. Prior to recordation of the final map, the subdivider shall submit to the city for approval a schedule of development.
5. Prior to the recordation of the final map, the subdivider shall submit to the city an appraisal report which indicates the value of the improved land as a result of the subdivision to determine in-lieu fees.
6. Prior to the recordation of the final map the subdivider shall submit to the city a recreation fee based upon the formula set forth in Brisbane Municipal Code Sections 16.24.010—16.24.070.
7. The Tentative Parcel Map approval shall expire two years from the effective date (at the end of the appeal period) if the Final Map has not been recorded. The Tentative Parcel Map may be extended by application filed prior to the expiration date per BMC Section 16.16.270.

# ATTACHMENT 2

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**OWNER'S STATEMENT**

I, Stephen R. Johnson, hereby state that I am the owner of, or have some right, title or interest in and to the real property included within the subdivision show upon this map, and I am the only person who consent is necessary to pass clear title to said property, and I hereby consent to making and filing of said map and subdivision as shown within the Distinctive Border.

AS OWNER: \_\_\_\_\_  
Stephen R. Johnson

**OWNER'S ACKNOWLEDGEMENT**

STATE OF CALIFORNIA  
COUNTY OF SAN MATEO

On \_\_\_\_\_, before me, personally appeared

known to me or  proved to me on the basis of satisfactory evidence, to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

Witness my hand: (Seal not needed per Gov. Code 66436)

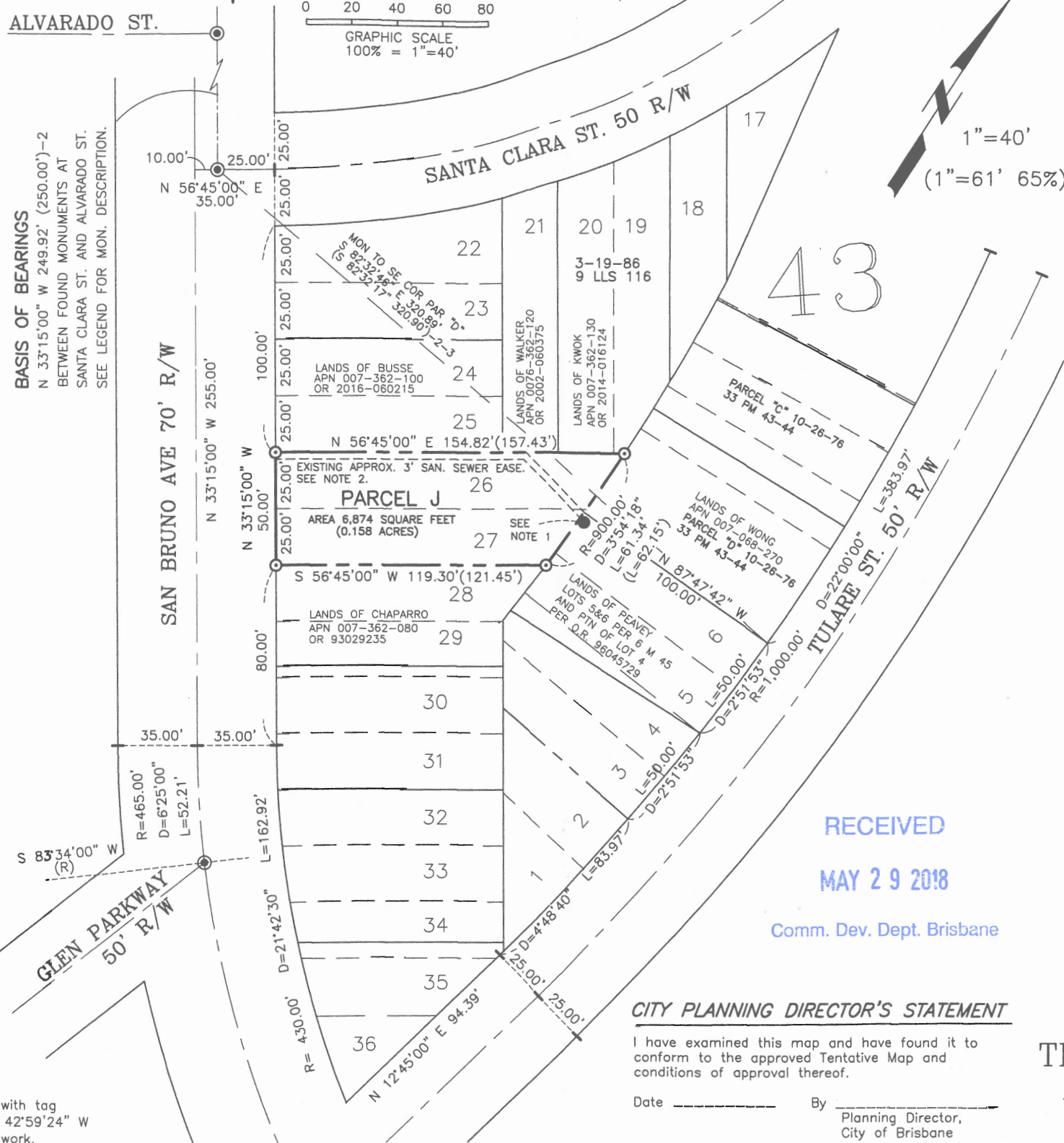
SIGNED \_\_\_\_\_  
BY (PRINT) \_\_\_\_\_  
NOTARY NUMBER \_\_\_\_\_  
PRINCIPALLY LOCATED IN \_\_\_\_\_ COUNTY  
MY COMMISSION EXPIRES \_\_\_\_\_

**LEGEND**

- ⊙ FOUND 3/4" IRON PIPE IN MON. BOX WITH TAG 2081 (CARL KIRKER) PER RECORD OF SURVEY FILED 2-27-1968 IN VOL. 6 OF LLS MAPS AT PAGES 111-112
- FOUND 3/4" IRON PIPE AS NOTED
- ⊙ SET 3/4" IRON PIPE WITH TAG RCE 20858
- ⊗ SET NAIL AND BRASS TAG RCE 20858
- ( ) RECORD PER 6 MAPS 45 FILED 10-14-1908
- ( )-2 RECORD PER 6 LLS 111-112, FILED 2-27-1968
- ( )-3 RECORD PER 33 PM 43-44, FILED 10-26-1976

**NOTES**

1. At P-7 on the back line of the site we found a 3/4" iron pipe with tag LS 3855 (Fischer) shown on 6 LLS 111-112. We found it at S 42°59'24" W 0.63' and possibly disturbed by retaining wall and sanitary sewer work.
2. EXISTING SANITARY SEWER EASEMENT. This easement along the northerly line of the site and crossing to a point about mid way on the back line was created by the deed recorded 12-29-1948 in Book 1608, Official Records, at Page 74. A First American Title Policy dated 3-17-1988 calls it "approximately 3 feet wide starting at the northwesterly line of Lot 27 and crossing Lot 26 to the northwesterly line of Lot 26 and down said line to San Bruno Ave.
3. TITLE REPORT (PRELIMINARY). By Old Republic Title Company, 1408 Chapin Ave., Suite #1, Burlingame, Ca. 94010, Order No. 0373007092-Cl.
4. SOILS/GEOLOGIC REPORT. By PG Soils, 901 Rose Ct., Burlingame, Ca. 94010. Report is available for public inspection at the Brisbane City Engineer's Office, 50 Park Place, Brisbane, Ca. 94005.



BASIS OF BEARINGS  
N 33°15'00" W 249.92' (250.00')-2  
BETWEEN FOUND MONUMENTS AT  
SANTA CLARA ST. AND ALVARADO ST.  
SEE LEGEND FOR MON. DESCRIPTION.

**COUNTY RECORDER'S STATEMENT**  
Filed this \_\_\_\_\_ day of \_\_\_\_\_, 2018  
at \_\_\_\_\_ M. in Volume \_\_\_\_\_ of Parcel Maps at Page \_\_\_\_\_  
at the request of Kavanagh Engineering.  
File \_\_\_\_\_ Fee \_\_\_\_\_  
Mark Church, County Recorder  
By \_\_\_\_\_ Deputy

**CITY PLANNING DIRECTOR'S STATEMENT**  
I have examined this map and have found it to conform to the approved Tentative Map and conditions of approval thereof.  
Date \_\_\_\_\_ By \_\_\_\_\_  
Planning Director,  
City of Brisbane

**CITY CLERK'S STATEMENT**  
I, Ingrid Padilla, City Clerk of the City of Brisbane, County of San Mateo, State of California, hereby state that this map, designated as Parcel Map 1701, was approved by the City Council of the City of Brisbane at a regular meeting of said Council held on the \_\_\_\_\_ day of \_\_\_\_\_, 2018.  
Date \_\_\_\_\_  
Ingrid Padilla, City Clerk  
City of Brisbane

**ENGINEER'S STATEMENT ATTACHMENT 2**

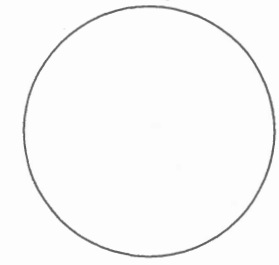
This map was prepared by me or under my direction and is based upon a field survey in conformance with the requirements of the Subdivision Map Act and local ordinance at the request of Steve Johnson on 5-28-2018. I hereby state that this Parcel Map substantially conforms to the approved or conditionally approved tentative map, if any, and that all the monuments are of the character and occupy the positions indicated and are sufficient to enable the survey to be retraced.



(MONS TO BE SET BEFORE MAP IS FILED)  
DATE \_\_\_\_\_  
CHARLES L. KAVANAGH  
RCE 20858

**CITY ENGINEER'S STATEMENT**

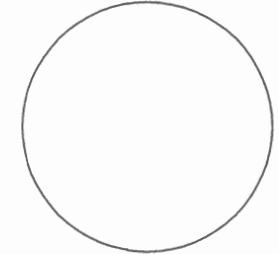
I have examined this map and have found the subdivision as shown within is substantially the same as it appears on the Tentative Parcel Map and any approved alterations thereof. The Subdivision Map Act and local ordinances applicable at the time of approval have been complied with. Approval was recommended by the Planning Commission on \_\_\_\_\_



DATE \_\_\_\_\_  
Raney Breault, RCE 59953  
City Engineer, City of Brisbane

**CITY SURVEYOR'S STATEMENT**

I have examined this map and have found it to be technically correct.



DATE \_\_\_\_\_  
Anne-Sophie Truong, LLS 8998  
Acting City Surveyor, City of Brisbane

5-28-2018 FOR TENTATIVE MAP REVIEW ONLY  
**TENTATIVE PARCEL MAP 1701**

**ADDENDUM #1 FOR BOUNDARY ONLY**  
THIS IS NOT A FINAL MAP. IT IS ONLY A SAMPLE FINAL MAP

A ONE LOT SUBDIVISION FOR CONDOMINIUM PURPOSES  
A SUBDIVISION OF LOTS 26 AND 27 OF BLOCK 43 AS SHOWN ON "AMENDED MAP OF SUBDIVISIONS NOS 1, 2, AND 3 OF CITY OF VISITACION" FILED 10-14-1908 IN BOOK 6 OF MAPS AT PAGE 45 AND AND AS REFERRED TO IN THAT DEED RECORDED 10-14-2015 AT O.R. 2015-108826 AND PREVIOUSLY MERGED BY THAT "NOTICE OF LOT MERGER" RECORDED 12-4-2006, OR 2006-182914

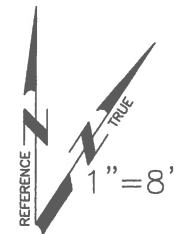
CITY OF BRISBANE, SAN MATEO COUNTY CALIFORNIA  
SCALE 1"=40' MAY 2018

**KAVANAGH ENGINEERING 65%**  
470 CHATHAM RD., BURLINGAME, CA. 94010. 650-579-1944

Tick marks for full size - 1  
To be removed for final/CLK



VICINITY MAP



TOPOGRAPHY NOTES

- T-1 FIELD SURVEYING. Performed during April 2004 and updated Dec. 2005, and 2017.
- T-2 REFERENCE ELEVATION. Top of the fire hydrant on the west side of San Bruno Ave. at the intersection of Santa Clara Ave., just north of the site, EL 112.094, city datum and NGVD 1929. Local reference elevation is the center of the rim of the Sanitary Sewer Manhole in the center of San Bruno Ave. opposite the north property corner, EL 115.68.
- T-3 LEGAL DESCRIPTION. Lots 26 and 27 of Block 43 as shown on "Amended Map of Subdivisions Nos 1, 2, and 3, of City of Visitation, California" filed 10-14-1908 in Book 6 of Maps at Page 45 and as referred to in that deed recorded 10-14-2015 at O.R. 2015-108826.  
APN 007-362-090 AREA 6,874 SF 0.158 ACRES
- T-3 TITLE REPORT AND SEWER EASEMENT. Preliminary Report by Old Republic Title Co., 1408 Chapin Ave. #1, Burlingame, Ca. 94010, dated 6-22-2017, Order No. 0373003714-CI. Exceptions include any easements appearing in public records. This includes an easement for sewer recorded 12-29-1948 in Book 1608 OR. Page 74 which reads, "over a strip of land approximately 3 feet wide, front and rear measurements, starting at the Northwesterly line of Lot 27 and across Lot 26 to the Northwesterly line of Lot 26 and down the Northwesterly line to San Bruno Ave. to connect to the sewer." A previous Title Report included wording as follows, "the exact location of such easement where it crosses the rear portion of Lot 26 cannot be located from the foregoing description." Kavanagh Engineering surveyed a 6" sewer cleanout just beyond the site on Lot 6 and has shown the 3 feet wide easement crossing Lot 26 in its "approximate" location. Kavanagh Engineering believes the easement follows the actual location of the sewer.
- T-4 EXISTING UTILITIES. Shown based on surface evidence and record maps as available. Call Underground Service Alert (800) 227-2600 48 hours in advance of any digging, to have underground lines located.
- T-5 PARCEL MAP AND CONDOMINIUM PLAN. This will be prepared per city and state requirements. Site will be Parcel 26-27. When available, data will be entered here:  
Filed \_\_\_\_\_ in Volume \_\_\_\_\_ of Parcel Maps at Page \_\_\_\_\_

CIVIL SHEET INDEX

- C-1 TOPOGRAPHIC MAP AND DEMOLITION PLAN
- C-2 CIVIL PLAN, NOTES AND SPECIFICATIONS
- C-3 SECTIONS, DETAILS AND OFFSITE STORM DRAIN
- C-4 EROSION CONTROL PLAN, CIVIL DETAILS AND SPECIFICATIONS

TOPOGRAPHY LEGEND

- FOUND 3/4" IRON PIPE IN MONUMENT BOX (RCE 12081) PER 6 LLS 111,112.
- FOUND 3/4" IRON PIPE (LS 3855) PER 33 PM 43-44.
- SET CUT 'X' IN CONCRETE
- SET HUB
- 3/4" IRON PIPE (TO BE SET)
- ELECTRIC METER
- GAS METER

RECEIVED  
MAY 29 2018

Comm. Dev. Dept. Brisbane

45.8 %

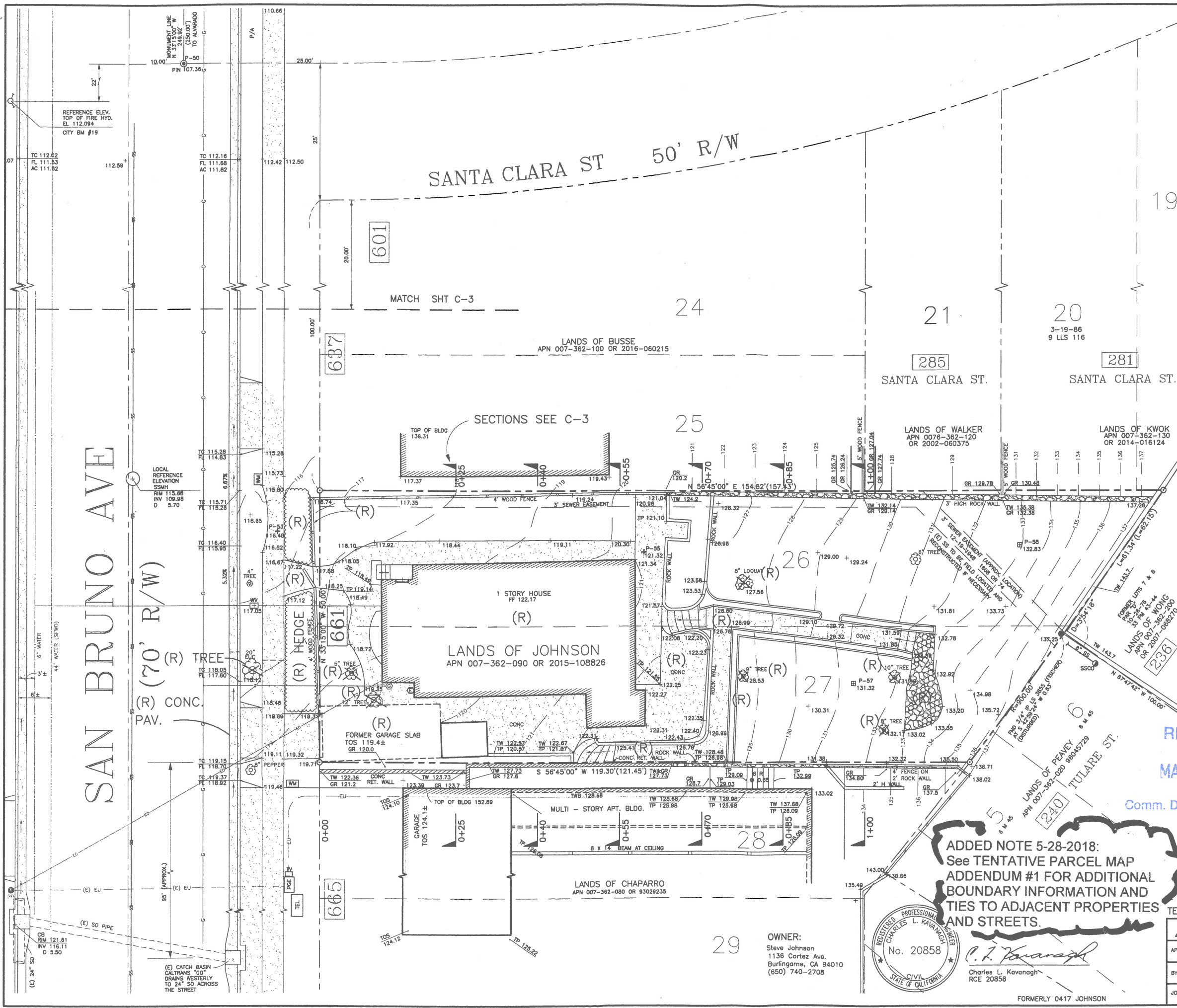
ADDED NOTE 5-28-2018:  
See TENTATIVE PARCEL MAP  
ADDENDUM #1 FOR ADDITIONAL  
BOUNDARY INFORMATION AND  
TIES TO ADJACENT PROPERTIES  
AND STREETS.



Charles L. Kavanagh  
RCE 20858

TENTATIVE PARCEL MAP FOR CONDOMINIUM PURPOSES		KAVANAGH ENGINEERING		470 CHATHAM RD. BURLINGAME, CA 94010 (650) 579-1944	
APPR: CLK	STEVE JOHNSON	BRISBANE, CA	SHT: C-1		
BY: NAR, DAR DIS	661 SAN BRUNO AVENUE		1 OF 4		
FOUR UNIT CONDOMINIUM			SCALE: 1"=8'		
TOPOGRAPHIC MAP			DATE: 1.14.2018		
& DEMOLITION PLAN			G.1.1430-2018		

OWNER:  
Steve Johnson  
1136 Cortez Ave.  
Burlingame, CA 94010  
(650) 740-2708



29

FORMERLY 0417 JOHNSON

GENERAL CONSTRUCTION NOTES

G-1 GENERAL. All work shall conform with the requirements of the city of Brisbane. This includes the 1997 Uniform Building Code, the 2001 California Building Code, the California Code of Regulations Title 19, and the Brisbane Municipal Code. In addition, street curbs, gutters, and sidewalk shall conform to the California Department of Transportation (Caltrans) Standard Plans and Specifications of 1997. In addition, Fire Sprinklers shall be in accordance with the 2001 California Fire Code (CFC), the 1999 National Fire Code, and the National Fire Protection Association (NFPA) Standard 13-R for residential systems. Separate permit applications are required for Grading and for the fire sprinkler system. An Encroachment Permit is required for all work in the public right of way of San Bruno Ave.

G-2 ARCHITECT'S PLANS. By JD Associates, 875 Mahler Rd. #200 Burlingame, Ca. 94010, Phone (650) 697-1370. Included are Structural Engineering plans by Dominic Chu, 3724 So. El Camino Real, San Mateo, Ca. 94403, Phone (650) 578-9899.

G-3 LANDSCAPE PLANS. See Architect's plans.

G-4. GEOTECHNICAL REPORT. Prepared by PGSOILS INC., 901 Rose Ct. Burlingame, phone (650) 347-3934, dated April 2005. All soils and foundation work shall be in accordance with the recommendations of the Geotechnical Engineer. Call said engineer 48 hours prior to starting any earthwork. The owner will hire the Geotechnical Engineer to observe and test the soils and foundation work and prepare written reports on same.

C-5 EARTHWORK. See quantities in the "Earthwork Summary" on Sht. C-3. For the project, approximately 1,087 cy of export is anticipated. This shall be hauled on the Haul Route shown on Sht. C-1 Vicinity Map and deposited in an appropriate disposal area.

G-6 UTILITY CONTACTS. Contractor shall coordinate construction with utility companies or agencies as follows:

SANITARY SEWER. City of Brisbane

DOMESTIC WATER. City of Brisbane

SFWD WATER (HETCH HETCHY). There is a 44" diameter water line on the westerly side of San Bruno Ave. This is expected to have about 7 to 8 feet of cover and should not be affected by this project.

STORM DRAINAGE. City of Brisbane

GAS AND ELECTRIC. P.G.&E., San Bruno Office, (650) 598-7204

TELEPHONE. AT & T. Coordination (408) 493-8582

CABLE T.V. AT & T Broadband, Daly City.

G-12 STORM DRAINAGE AND DRAINAGE REPORT. The amount of water coming from the site before the project and after the project was calculated and included in the Drainage Report, Calc-5.

G-13 OTHER UTILITIES. Gas, Electric, Telephone, and Cable T.V. To be constructed in a joint trench as much as practical from San Bruno Ave.

G-14 WORK HOURS. As specified by the city. Generally between the hours of 8:00 a.m. and 5:00 p.m.

G-15 CITY INSPECTIONS. Coordinate inspections with the city Building Department, phone (415) 508-2120, or Public Works Department, George Bermudez same number.

G-16 SPECIAL INSPECTIONS. See Structural plan Sht. SGN.1, last note in right hand column. No special inspections for civil items is anticipated.

G-17 JOB SITE SAFETY. Per Cal OSHA. Trenches over 6 feet deep shall be shored.

G-18 SHORING DESIGN. The details on Sht. C-3 are conceptual only. The actual shoring design shall be done by a licensed Civil Engineer or a licensed Structural Engineer with a minimum of 5 years of experience designing similar shoring systems. Shoring plans shall be signed and stamped by the engineer responsible for them and submitted to the Structural Engineer, the Geotechnical Engineer, and the city for review. Wood used in the shoring, if pressure treated, may be left in place.

G-19 HAUL ROUTE. Shown on the Vicinity Map on this cover sheet. This route shall be used for all major material deliveries and exporting of soil.

G-20 CONSTRUCTION STAKING. To be done by Kavanagh Engineering on contract with the owner. Stakes for horizontal and vertical control will be set at corners, angle points, grade breaks, and generally at 20 foot intervals. Staking Diagrams will be issued showing the stakes set in relation to the items to be constructed.

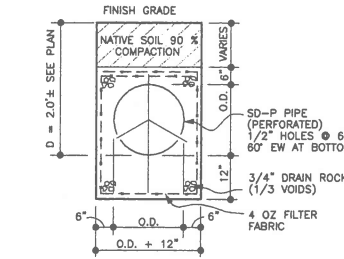
G-21 CONTRACTOR'S WORK AREAS. Contractor shall utilize the site as much as possible for storing materials and equipment. If materials and equipment are to be stored in the street, check with the city first for their requirements.

CONSTRUCTION LEGEND

EXISTING (E)	CONSTRUCT (C)	DESCRIPTION
SS	SS	SANITARY SEWER
	W	WATER
	SD SOLID PIPE	STORM DRAIN See note CS-8
	SD-P PERF. PIPE	
	CB	CATCH BASIN See note CS-9
EU	EU	ELEC. UNDERGR. PER PG&E STD
G	G	GAS LINE PER PG&E STD
		CURB AND GUTTER
		RETAINING WALL
		PCC CONCRETE PAVING

ATTACHMENT 2 ABBREVIATIONS

(C)	CONSTRUCT
(E)	EXISTING
(R)	REMOVE
AC	ASPHALT CONCRETE
AB-2	CLASS 2 AGG. BASE (CALTRANS)
BW	BOT. OF WALL
CB	CATCH BASIN
C.O.	CLEANOUT
CONC	CONCRETE (PCC)
D	DEPTH (RIM TO INV)
EO	ELECTRIC OVERHEAD
FF	FINISH FLOOR
FG	FINISHED GRADE
GR	GROUND (EXIST.)
H	HEIGHT (OF RET. WALL)
PIV	POST INDICATOR VALVE (FIRE)
SD	STORM DRAIN
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB
TOE	TOE OF SLOPE
TOS	TOP OF SLAB
TP	TOP OF PAVEMENT
TS	TOP OF SLOPE
TW	TOP OF WALL
W	WATER
WM	WATER METER
WV	WATER VALVE



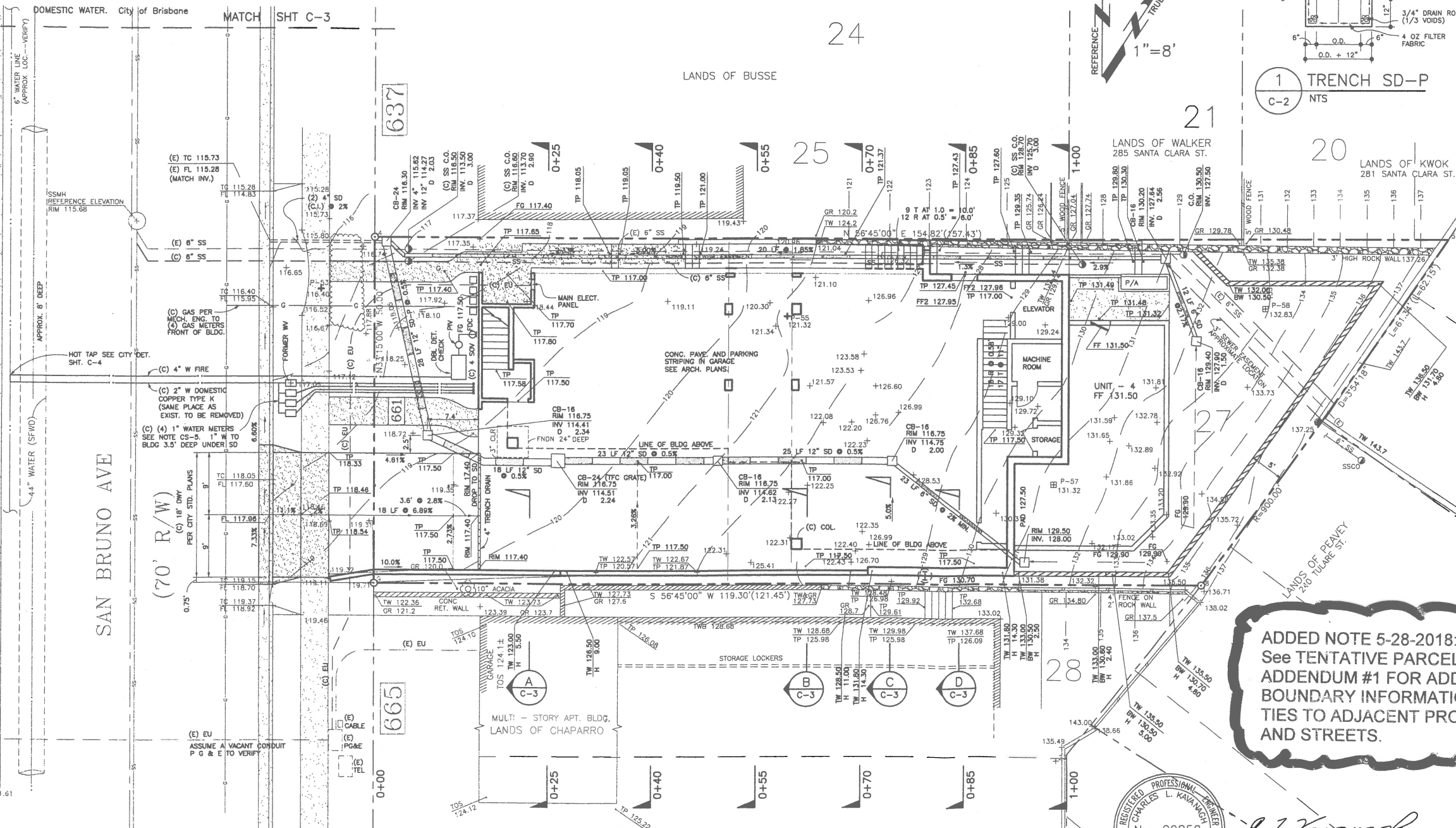
CIVIL SPECIFICATIONS

- CS-1 GENERAL. See Sheet C-2 for "General Construction Notes".
- CS-2 REMOVALS. Items to be removed shall be removed offsite and are indicated on Sht. C-1, including concrete pavement from the driveway, small trees, garage, house, and concrete patio and steps in the back yard and retaining walls.
- CS-3 SANITARY SEWER. Construct a new 6" lateral from the new building to the existing 6" sanitary sewer in the center of the street. Pipe shall be High Density Polyethylene (HDPE) with heat welded joints. Cleanouts shall be according to city standard plans. There is an existing 6" sanitary sewer in an easement crossing the NE portion of the site to the north property line and following the north property line to the street. The owner says this is old VCP pipe. This easement line shall be protected and remain operational during construction. If it is damaged, or is currently exploding, it shall be repaired with new pipe. Cleanouts to be in Christy B-9 box, conc. lid.
- CS-4 WATER PRESSURE. The City of Brisbane has a 6" water main on the westerly side of San Bruno Ave. between the 44" SFWD line and the curb. There is a fire hydrant at the intersection of San Bruno Ave. and Glenn Park just to the south of the site. This hydrant had flow testing in 1997 with results as follows (from Jerry Flanagan of the city): Static pressure 100 psi, Residual pressure 85 psi, with flow 1,403 gpm. This hydrant is estimated to be 25 feet higher than the site, so static pressure at the site will about 0.432 x 25, or 10 psi higher than at the hydrant, or 110 psi. The fire hydrant at the intersection of San Bruno Ave. and Santa Clara St. is connected to the 44" SFWD and not the 6" city water main.
- CS-5 WATER--DOMESTIC. Construct a new 2" domestic water service from the existing 6" water line for side of the street. Water meters shall be 1", and service lines to bldg shall be 1". See Sht. C-4 for standard city water details.
- CS-6 FIRE WATER SERVICE. Construct a 4" water line from the city's 6" water main on the far side of San Bruno Ave., to the site and construct an above ground double detector check Backflow Preventor and Post Indicator Valve (PIV) before going into the building. See Sht. C-4 for details.
- CS-7 FIRE SPRINKLER DESIGN. See Sht. C-2, Note G-1 for general code and permit requirements. Submit plans and calculations prepared, stamped, and signed by a licensed engineer to the city for review. Fire flow requirements shall meet Calif. Fire Code Appendix III-A.
- CS-8 STORM DRAIN PIPES. Shall be PVC SDR-35 with solvent cement joints. 12" storm drain crossing street shall be RCP (ASTM C76) with rubber gaskets.
- CS-9 CATCH BASINS. Shall be Christy Concrete or approved equal with cast iron or galvanized steel grates as follows:  
 CB-12 V-9 Drain Box 10" x 15.25" cast iron grate  
 CB-16 V-64 15-7/8" square cast iron grate  
 CB-24 U-21 26.5" square welded steel, galvanized grate, traffic CALTRANS "GO" Per Caltrans Std. Plans D74/B, D74C, AND D77A
- CS-10 CONCRETE. For curbs, gutters, and sidewalks shall be Caltrans Class A, 6-pack, 3,000 psi, maximum slump 4". Add lampblack per city requirements. See Structural plans for concrete for the building and retaining walls.

ADDED NOTE 5-28-2018:  
See TENTATIVE PARCEL MAP  
ADDENDUM #1 FOR ADDITIONAL  
BOUNDARY INFORMATION AND  
TIES TO ADJACENT PROPERTIES  
AND STREETS.

MAY 29 2018  
Comm. Dev. Dept. Brisbane

45.8%



Charles L. Kavanagh  
RCE 20858

TENTATIVE PARCEL MAP FOR CONDOMINIUM PURPOSES

KAVANAGH ENGINEERING RD. BURLINGAME, CA 94010 (650) 579-1944		SHT:
APPR: CLK	STEVE JOHNSON 661 SAN BRUNO AVENUE	BRISBANE, CA
BY: DIS CLK	C-2	
JOB: 1713 BRIS JOHNSON	SCALE: 1"=8'	
FOUR UNIT CONDOMINIUM CIVIL PLAN NOTES & SPECIFICATIONS		DATE: 5-30-2018

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