

**CONTRACT DOCUMENTS, CONSULTANTS & CONTRACTOR\***

\*Use of contract documents shall constitute agreement with the following. All shall agree to the following before proceeding with any demolition or construction.

- Contract Documents shall consist of:
- Drawings by J Deal Associates;
  - Reports, drawings, details and calculations by the Soils Engineer (if required for this project)
  - Structural drawings, details and calculations by the engineer;
  - Title 24 calculations by the Energy Consultant.

It is agreed by all parties reading, reviewing or using the construction documents that the engineer of record and soils engineer shall bear complete responsibility for their reports, drawings, calculations and details and that J Deal Associates is including their professional opinion, reports, drawings, details and calculations as a part of the contract documents.

J Deal Associates drawings shall be used only for space planning purposes and non-structural details & notes.

The Contractor shall thoroughly review all documents before beginning construction to verify that site conditions and existing construction is as per plan. J Deal Associates shall be notified immediately of any and all discrepancies between plans, which shall include (reports, plans, details and calculations) and site conditions. All construction shall cease at that point until the situation is clarified. Drawings are not to be scaled for any reason.

**FOUNDATIONS** - all foundation areas shall be inspected by the Contractor prior to construction to verify they are in conformance with the plans before proceeding with any construction or demolition.

**THE ENGINEER OF RECORD** shall be notified immediately of any and all discrepancies between contract documents and site conditions and all construction shall cease at that point until the situation is clarified. All parties understand that the engineer of record shall bear complete responsibility for their reports, drawings, calculations and details. Reports, drawings, details and calculations by the engineer take precedence over drawings and details from J Deal Associates. Drawings are not to be scaled for any reason.

**THE SOILS ENGINEER OF RECORD** (if required) shall be notified immediately of any and all discrepancies between reports, plans and site conditions and all construction shall cease at that point until the situation is clarified. Reports, drawings, details and calculations by the soils engineer take precedence over drawings and details from J Deal Associates. Drawings are not to be scaled for any reason.

**CONTRACTOR AND OWNER RESPONSIBILITY**  
The Owner and the Contractor agree to the following statements and use of these drawings shall constitute agreement with those statements. If the Owner or Contractor disagrees with any of the following statements they shall inform J Deal Associates before beginning any work associated with this project. All work associated with revisions and on-site observation shall be charged to the Owner at the current office rate of the engineer and /or J Deal Associates.

**SCALING OF DRAWINGS:**  
All dimensions shall have precedence over scale. All dimensions are to face of stud framing unless otherwise noted. Drawings shall not be scaled. Any measurement discrepancies shall be brought to the attention of the responsible party and all work shall cease until the situation is clarified.

**MEASUREMENTS/DIMENSIONS/DRAWINGS**  
Contractor responsibility  
It is the responsibility of the contractor to verify all measurements, dimensions and placement of, but not limited to: fixtures, cabinets, electrical, mechanical, plumbing, structural, components, windows, doors, stairs, handrails, etc. prior to ordering of materials and prior to any installation or fabrication. Any discrepancies shall be brought to the attention of JD & Associates prior to any work related to or affecting the concern.

**NOTE REFERENCE**  
All notes applicable to the project shall apply although not directly referenced. Project shall conform to all applicable codes and ordinances. Conflicting notes shall be brought to the attention of JD & Associates prior to commencement of work related to those notes.

**PROJECT INFORMATION**

**PROPERTY OWNER:**  
STEVE JOHNSON  
1233 CORTEZ AVE.  
BURLINGAME, CA 94010  
(650) 740-7108  
stjohnson.com

**DESIGNER:**  
J DEAL ASSOCIATES  
331 BEACH RD, SUITE A  
BURLINGAME, CA 94010  
(650) 691-1310  
office@jdealassociates.com

**T-24 REPORT:**  
MICHAEL KUNZ, CEPE  
ENERGY PERFORMANCE SERVICES  
3335 PLACER STREET, #50  
REDDING, CA 96001  
(888) 828-9488

**LANDSCAPE ARCHITECTURE:**  
BAUERCOMBS & ASSOCIATES, INC.  
P.O. BOX 305  
LOS GATOS, CA 95031  
(408) 366-2551  
www.bauercombs.com

**SURVEY/CIVIL ENGINEERING:**  
KAVANAGH ENGINEERING  
410 QUATHAMT ROAD  
BURLINGAME, CA 94010  
(650) 519-1944

**STRUCTURAL ENGINEERING:**  
DOMINIC CHU  
CONSULTING STRUCTURAL ENGINEER  
3724 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94403  
(650) 518-9899  
dc-eng@pacbell.net

**CODES**

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE NATIONAL & LOCAL CODES & ORDINANCES.  
California Building Code 2016  
California Mechanical Code 2016  
California Plumbing Code 2016  
California Electrical Code 2016  
California Energy Code 2016  
California Green Building Standards Code  
City of Brisbane Municipal Code

**OCCUPANCY GROUP**

R-1 CONDOMINIUM  
S-3 COVERED PARKING  
TYPE VB 1-HR CONSTRUCTION  
STORIES 3 STORIES

**FIRE SPRINKLERS**

The required fire suppression sprinkler system and monitoring shall be installed in accordance with 1999 National Fire code, NFPa 13-R minimum under separate plan/permit approval.

**BUILDING DATA**

LOT SIZE	6,874.0 SF
ALLOWABLE LOT COVERAGE	6,874.0 x 0.60 = 4,124.4 SF
ALLOWABLE FLOOR AREA RATIO	6,874.0 x 0.72 = 4,949.28 SF
EXISTING DWELLING + DETACHED GARAGE (TO BE REMOVED)	
<b>PROPOSED NEW FOUR-UNIT CONDOMINIUM</b>	
- FIRST FLOOR (PARKING LEVEL)	
COVERED PARKING AREA	241 SF
ENCLOSED AREA (ENTRY + STAIRWAYS)	
- SECOND FLOOR LEVEL	
HABITABLE AREAS	2,531 SF
ENCLOSED AREA (ENTRY + STAIRWAYS)	362 SF
UNIT #1 BALCONY	40 SF
UNIT #2 & #3 BALCONY	73 SF
- THIRD FLOOR LEVEL	
HABITABLE AREAS	1,633 SF
UNIT #1 BALCONY	40 SF
LOT COVERAGE	2,531 + 362 + (68 SF STAIR/ENTRY) = 2,961 SF (43%) < 4,124.4(60%)
FLOOR AREA RATIO	(241 + 2,531 + 362 + 1,633) = 4,767.75 SF (69%) < 4,949.28(72%)

**PARKING SPACES REQUIRED**

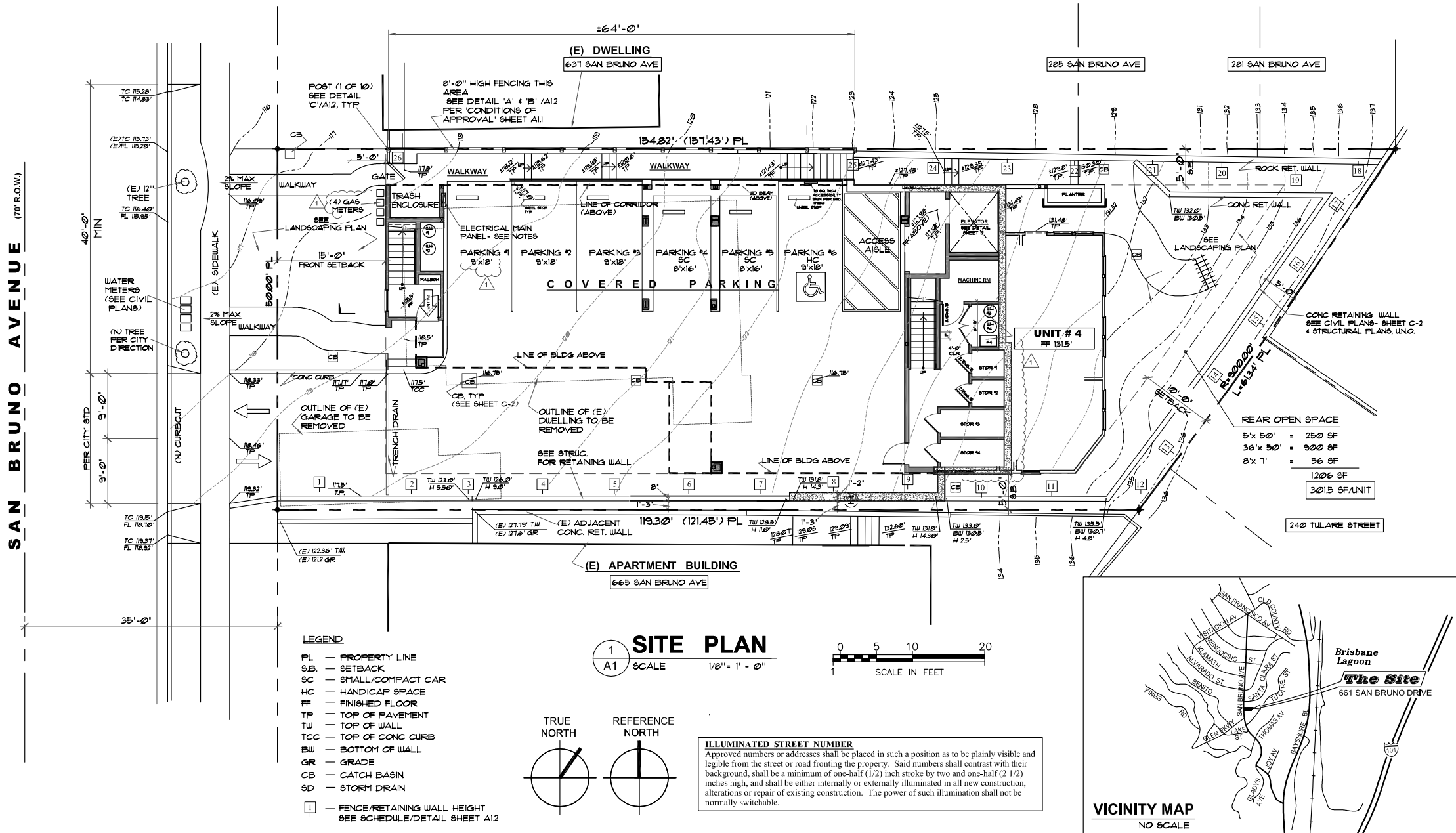
(4) 2 BEDROOM UNITS x 1.5 SPACE PER UNIT = 6 PARKING SPACE REQUIRED

**CUT & FILL**

(SEE CIVIL PLANS SHEET C-2)

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DATE: 03/30/18  
SCALE: AS NOTED  
DRAWN: JOHNSON  
JOB #: JOHNSON  
SHEET: **A1**  
OF SHEET: G.T.151

storage areas, break up expanses of paved area and define areas for usability and privacy, in that the front yard will be encircled by a variety of non-deciduous, water-conserving shrubs, a hedge in the north side yard will help screen the building from view from the house next door, and in that rear yard will feature an arbor with trees, shrubs and turf, in that on-site turnaround will be accommodated, the driveway curb cut will be designed to preserve on-street parking, separate pedestrian access will be provided to the street, sufficient number of on-site parking spaces will be provided per current requirements, the north side of the garage will be screened with landscaping, and exterior lighting will be designed not to cast glare.

- 9. The proposal takes reasonable measures to protect against external and internal noise, as noted in the Environmental Noise Study prepared by Shen Milsom Wilke Integrated Communications Technology and Acoustic Consulting, dated August 17, 2005, as amended October 13, 2005.
- 10. Consideration has been given to avoiding offsite glare from lighting and reflective building materials, given the proposed lighting fixtures and exterior building materials.
- 11. Attention is given to the screening of utility structures, mechanical equipment, trash containers and rooftop equipment, in that the utility meters and trash enclosure will be tucked into the side of the building and will be screened from the adjoining property by a 6 ft. tall fence.
- 12. The finding regarding signage is not applicable to this project.
- 13. The finding regarding outdoor space for employees is not applicable to this project.

**Conditions of Approval:**

- A. The plans submitted for a building permit shall include a section showing the decline of the mansard roof segment over Unit #3 as being no more than 29 ft., 2 1/2 in. above the elevation of the driveway below it.
- B. Prior to issuance of a building permit (and concurrent with any approval of the Use Permit and Tentative Parcel Map applications for condominiums), approval of a Fence Height Exception shall be obtained from the Planning Commission for an 8 ft. tall solid wood fence along the northern property line to act as a sound barrier and to screen the adjacent trash enclosure and utility meters. *applicat from Defail*
- C. Per Brisbane Municipal Code Section 17.32.050.B, the surface of retaining walls more than 6 ft. in exposed height shall be treated with coloring and texture to visually divide the height of the retaining wall into horizontal sections of no more than 6 ft. to the satisfaction of the Community Development Director, as shown on Sheet 1 of the submitted plans. *add to plan structure permit*

**Design Permit DP-4-04 Extension**

- 1. The proposed development is consistent with the General Plan and any applicable specific plan, specifically the Residential: 15-30 Dwelling Units per Acre land use designation, Policy 258 and Program 140b.
- 2. The proposal maintains a balance of scale, form and proportion, uses design components that are harmonious and materials and colors that complement the project, and integrates well with elements of the site plan and of surrounding areas, in that the building will vary in height from 1 to 2 stories at the front and rear, up to 3 stories in the middle, and in that various siding materials, changing rooflines, building articulation and architectural detailing are used.
- 3. The orientation and location of buildings, structures, open spaces and other features maintain a compatible relationship to adjacent development, by locating the 1-to-2-story segments of the building adjacent to the 2-story house to the north, by separating the 3-story element from the neighboring 3-story apartment building to the south by the open portion of the parking area, and by providing a large, landscaped rear yard which backs on to a number of surrounding 1-to-2-unit buildings.
- 4. Where a proposal abuts or is in close proximity to uses other than that proposed, the plan takes into account its effect on and maintains the quality of the other land uses, in that the driveway is located on the opposite side of the building from the single-family residence to the north, and in that large yards are provided between the building and the one-to-two-unit buildings toward the rear.
- 5. For hillside development, the proposal respects the topography of the site and is designed to minimize its visual impact, in that grading is proposed to provide parking below the building, reducing its apparent height, and in that the project will not affect any significant public views of San Francisco Bay, the Brisbane Lagoon and San Bruno Mountain State and County Park.
- 6. The site plan minimizes the effects of traffic on abutting streets through careful layout of the site with respect to location, dimensions of vehicular and pedestrian entrances and exit drives, and through the provision of adequate off-street parking; there is an adequate circulation pattern within the boundaries of the development; and parking facilities are adequately surfaced, landscaped and lit; as detailed in the staff memorandum.
- 7. The proposal encourages alternatives to travel by automobile, through existing facilities for pedestrians and access to public transit.
- 8. The site provides open areas and landscaping to complement the buildings and structures, with generally water-conserving landscaping is used to separate and screen service and

**EXHIBIT A**

**Action Taken:** Conditionally approved Variance V-2-07, Use Permit UP-3-07 and the extension of Design Permit DP-4-04 per the staff memorandum with attachments, via adoption of Resolution V-2-07/UP-3-07, as revised by the Planning Commission.

**Findings:**

**Variance V-2-07**

- 1. The variance shall be subject to the following conditions to assure that the adjustment hereby authorized shall not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and district in which the subject property is located.
- 2. Because of special circumstances applicable to subject property, specifically its cross slope, the strict application of this title is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification, namely a three-story building with a pitched roof similar to that at 737 San Bruno Avenue, with sufficient garage clearance to provide required accessibility for persons with disabilities.

**Use Permit UP-3-07**

- 1. Approval of the use permit is consistent with the 1994 General Plan adopted by the City Council on June 21, 1994, specifically 1994 General Plan Program 22c and Policy 149.
- 2. The establishment, maintenance and operation of the use applied for, under the circumstances, will not be detrimental to the health, safety, morals, comfort and general welfare of persons residing or working in the neighborhood, nor will it be injurious or detrimental to property or improvements in the neighborhood or the general welfare of the City, in that sufficient parking aisle width will be provided to accommodate most current-model full-size and SUV models, as evidenced by the parking requirements of over a third of 157 jurisdictions surveyed statewide.
- 3. Strict enforcement of the specified regulation is not required by either present or anticipated future traffic volume or traffic circulation on the site, in that sufficient parking is required to comply with current requirements.
- 4. The granting of the use permit will not result in the parking of vehicles on public streets in such a manner as to interfere with the free flow of traffic on the streets or to create or intensify a shortage of on-street parking spaces, in that existing on-street parking will be preserved while widening the existing driveway curb cut.

**RESOLUTION V-2-07/UP-3-07**

A RESOLUTION OF THE PLANNING COMMISSION OF BRISBANE CONDITIONALLY APPROVING VARIANCE V-2-07 TO EXCEED THE HEIGHT LIMIT AND USE PERMIT UP-3-07 TO MODIFY THE REQUIRED PARKING AISLE WIDTH AND EXTENDING THE APPROVAL OF DESIGN PERMIT DP-4-04 FOR A FOUR-UNIT MULTI-FAMILY DWELLING AT 661 SAN BRUNO AVENUE

WHEREAS, Jerry Deal, JD & Associates, the applicant, applied to the City of Brisbane for Design Permit approval for a four-unit multi-family dwelling which will exceed the 28 ft. height limit with a parking aisle less than the standard width at 661 San Bruno Avenue, such applications being identified as Variance V-2-07, Use Permit UP-3-07 and Design Permit DP-4-04; and

WHEREAS, on February 22, 2007, the Planning Commission conducted a public hearing of the applications, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff memorandum relating to said applications, the plans and photographs, the written and oral evidence presented to the Planning Commission in support of and in opposition to the applications; and

WHEREAS, the Planning Commission finds that the proposed project is categorically exempt from the provisions of the California Environmental Quality Act; and

WHEREAS, the Planning Commission of the City of Brisbane hereby makes the findings attached herein as Exhibit A in connection with the Design Permit.

NOW THEREFORE, based upon the findings set forth hereinabove, the Planning Commission of the City of Brisbane, at its meeting of February 22, 2007, did resolve as follows:

Variance Application V-2-07 and Use Permit Application UP-3-07 are approved and Design Permit DP-4-04 is extended per the conditions of approval attached herein as Exhibit A.

ADOPTED this twenty-second day of February, 2007, by the following vote:

AYES: Jameel, Lentz, Maturo, Hunter  
NOES: None  
ABSENT: Hawawini

JAMES HUNTER  
Chairman

ATTEST:

WILLIAM PRINCE, Community Development Director

- D. The proposed arbor shall be located at least 10 ft. from the rear property line and 5 ft. from the side property line, as shown on Sheet L1 of the submitted plans.
- E. The proposed design shall limit exterior noise to 45 dB in any habitable room per California Code of Regulations, Title 24, Appendix Chapter 35 (California Noise Insulation Standards), as confirmed by the Environmental Noise Study prepared by Shen Milsom Wilke Integrated Communications Technology and Acoustic Consulting, dated August 17, 2005, as amended October 13, 2005.
- F. All glass shall be nonreflective, and all exterior lighting shall be located so as not to cast glare upward or onto surrounding streets or properties.
- G. The property owner shall comply with the terms of the landscape maintenance agreement recorded as Document No. 2006-160821.
- H. The property owner shall comply with the agreement including a covenant running with the land and enforceable by the City whereby the owner waives the right to protest the inclusion of the property within an underground utility district recorded as Document No. 2006-160820.
- I. Demolition of the existing structures shall comply with applicable provisions of BMC Chapter 15.75, Recycling and Diversion of Debris from Construction and Demolition (Ordinance No. 493).
- J. The driveway shall be widened to no less than 14 ft. as approved by the City Engineer so as to accommodate two-way traffic, while maintaining a minimum distance of 40 ft. between the driveway curb cuts (pan to pan) at 637 and 661 San Bruno Avenue. The existing street tree shall be replaced to the satisfaction of the City Engineer.
- K. The recommendations of the geotechnical study prepared by PGSoils Inc., dated April 2005, shall be incorporated into the project per California Building Code Section 1804, and the geotechnical consultant shall oversee construction to certify that any recommendations have been properly implemented.
- L. Prior to issuance of a building permit, separate application for a grading permit shall be made to the City Engineer per Brisbane Municipal Code Chapter 15.01.
- M. Prior to issuance of a building permit, the plans shall include water and sanitary sewer service and storm drainage details as required by the City Engineer. A minimum 5 ft. separation shall be provided between water and sanitary sewer services. The cleanout shall be provided at the property line per BMC Sections 13.04.420.B and 13.04.420.G. All site drainage collection shall be subject to the approval of the City Engineer. The

- property owner(s) shall be responsible for ongoing operation and maintenance of permanent structural stormwater controls.
- N. Prior to construction, all Best Management Practice improvements necessary to prevent stormwater pollution per NPDES shall be in place and shall be maintained thereafter to the satisfaction of the Public Works Department.
  - 1. On-site storm drain inlets shall be clearly marked with the words "No Dumping! Flows to Bay," or equivalent, using methods approved by the City's NPDES Coordinator.
  - 2. Interior floor drains shall be plumbed to the sanitary sewer system and shall not be connected to storm drains.
  - 3. Interior level parking garage floor drains shall be connected to the sanitary sewer system. The applicant shall contact the City for specific connection and discharge requirements.
  - 4. Landscape irrigation and runoff shall be minimized. The use of fertilizers and pesticides that can contribute to stormwater pollution shall be minimized.
  - 5. Building foundation vents shall be covered with screens.
  - 6. The trash enclosure shall be roofed as shown on Sheet 7 of the submitted plans. The area shall be designed to prevent storm water run-on to the area and runoff from the area and to contain litter and trash, so that it is not dispersed by wind or runoff during waste removal.
  - 7. Provisions shall be made in the project design and construction to allow for the discharge of fire sprinkler test water to the sanitary sewer or to a landscaped area, as approved by the City Engineer.
  - 8. Condensate from any air conditioning units shall be directed to landscaped areas or connected to the sanitary sewer system, as approved by the City Engineer.
  - 9. Roof drains shall discharge and drain away from the building foundation to an unpaved area wherever practicable.
- O. The plans submitted for building permit approval shall indicate that each unit shall be served by a separate water meter.
- P. The plans submitted for building permit approval shall include sewer lateral design details to the satisfaction of the City Engineer.

- Q. Facilities for future underground utility service shall be installed in the building per BMC Section 17.32.030.C.2. Prior to issuance of a building permit, the developer shall contact SBC and Comcast Cable regarding including telephone, CATV and Internet cable in any joint underground trench.
- R. The project shall comply with the requirements of the 2001 California Fire Code, the 2001 California Building Code, the Brisbane Municipal Code and California Code of Regulations Title 19.
- S. Smoke detectors shall be hardwired, interconnected and with battery backup within each unit. A yearly fire code permit and confirmation that the smoke detectors are working shall be required.
- T. Secondary exiting from all bedrooms shall meet the requirements of the California Building Code. The plans submitted for building permit approval shall clearly show an operable window, with net open dimensions which meet the requirements for emergency escape or rescue, for each sleeping room. Each window shall have a minimum net clear operable area of 5.7 sq. ft. The minimum net clear operable height shall be 24 in., and the width shall be 20 in. (California Building Code Section 310.4).
- U. The roof shall be of Class A or B non-wood.
- V. The required fire suppression sprinkler system and monitoring shall be installed in accordance with 1999 National Fire Code, NFPA 13-R min., per separate plan/permit approval. The City water main tap in for the underground fire main required to supply the system shall be subject to Public Works Department approval. Fire flows shall comply with the requirements of California Fire Code Appendix III-A.
- W. The required fire alarm system shall be installed in accordance with 1999 National Fire Code, NFPA 72, per separate plan/permit approval.
- X. Fire-resistive occupancy separation shall be provided between the garages and the dwellings and understorey areas in accordance with Building Code requirements.
- Y. The locations of fire extinguishers shall be subject to Fire Department approval.
- Z. Building address shall be visible from the street (numbers to be 4 in. minimum in height), internally or externally illuminated, and of contrasting colors to the satisfaction of the Fire Department.
- AA. The required parking spaces shall not be used or converted to any other use that would impair their basic use as parking for motor vehicles per Brisbane Municipal Code Section 17.34.020.A.

- BB. Minor modifications may be approved by the Planning Director in conformance will all requirements of the Municipal Code.
- CC. Prior to any sale of the units as condominiums, Use Permit Application UP-16-04 and Tentative Parcel Map Application TPM-2-04 shall be completed by the applicant and approved by the Planning Commission.
- DD. The Variance, Use Permit and Design Permit Extension shall expire two years from their effective date (at the end of the appeal period) if a building permit has not yet been issued for the approved project and construction commenced per Brisbane Municipal Code Section 17.42.060(a). The Design Permit may be extended for 1 additional year by application filed prior to the expiration date per BMC Section 17.42.060(b).

REVISIONS	BY

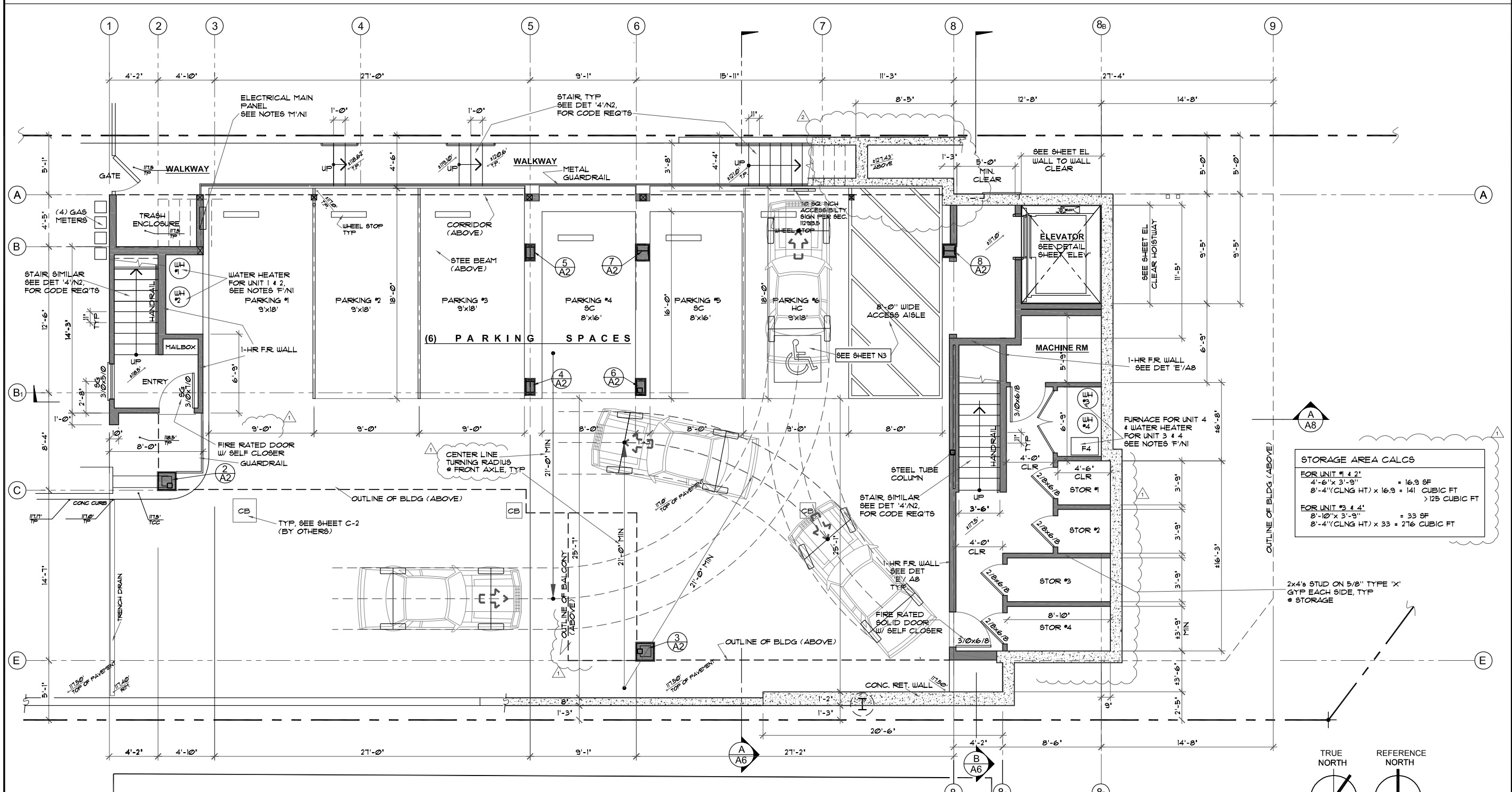
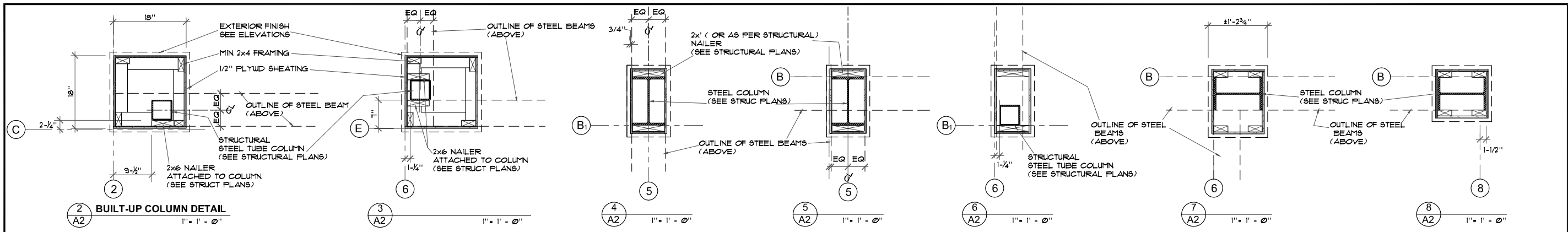
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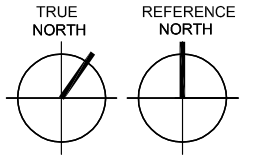
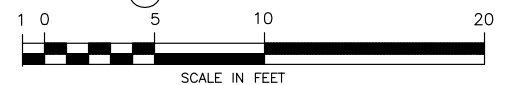
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JOB JOHNSON  
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**STORAGE AREA CALC'S**

FOR UNIT # 4 2'	
4'-6" x 3'-9"	= 16.3 SF
8'-4" (CLNG HT) x 16.3	= 141 CUBIC FT
	> 125 CUBIC FT
FOR UNIT # 3 4'	
8'-10" x 3'-9"	= 33 SF
8'-4" (CLNG HT) x 33	= 276 CUBIC FT



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DATE: 03/30/18  
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 JOB #: JOHNSON  
 SHEET: **A2**  
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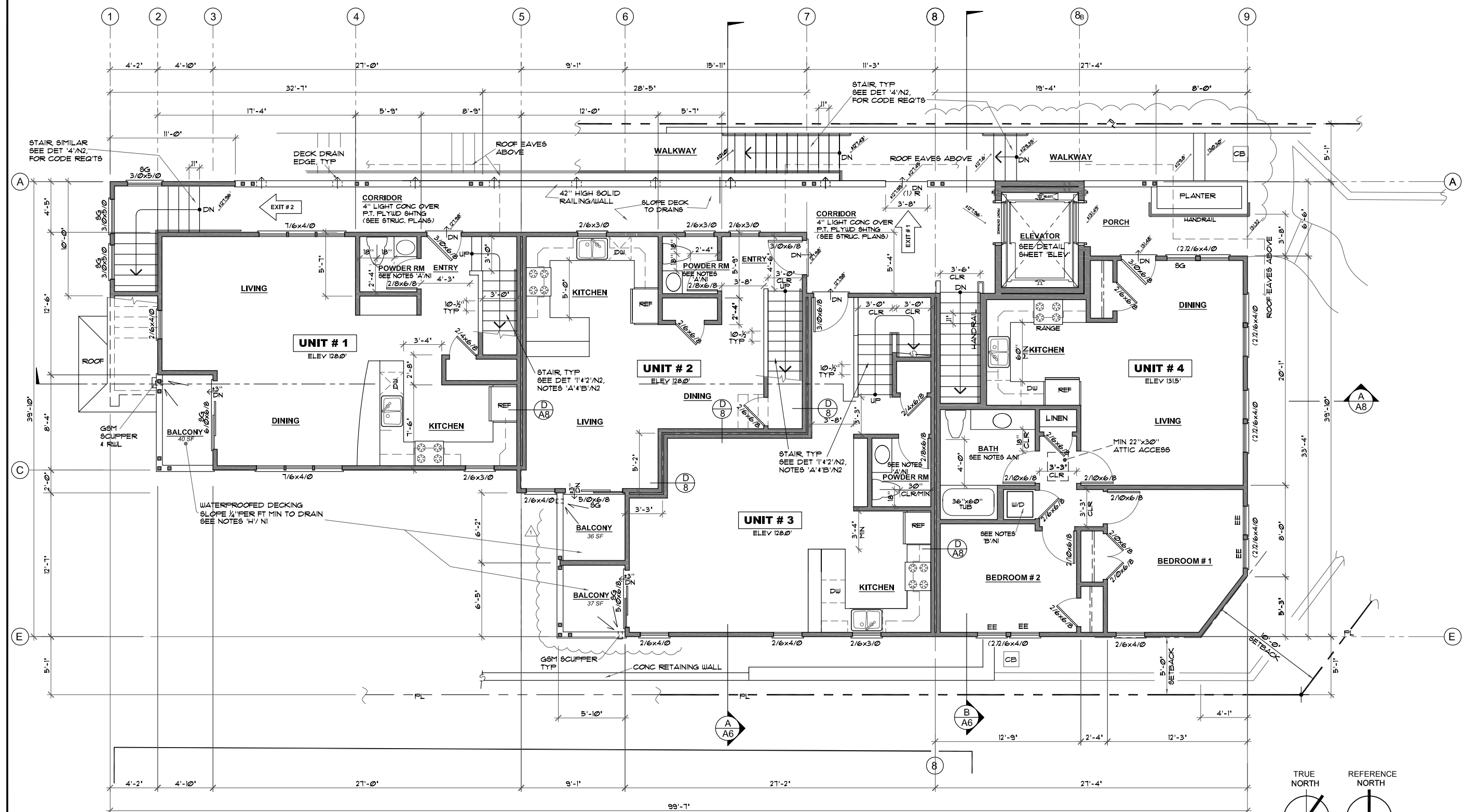
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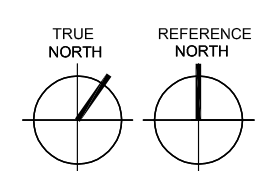
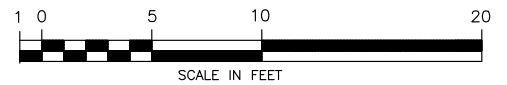
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 SCALE: AS NOTED  
 DRAWN: JOHNSON  
 JOB #: JOHNSON  
 SHEET: **A3**  
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**1 SECOND FLOOR PLAN**  
 SCALE 1/4" = 1' - 0"



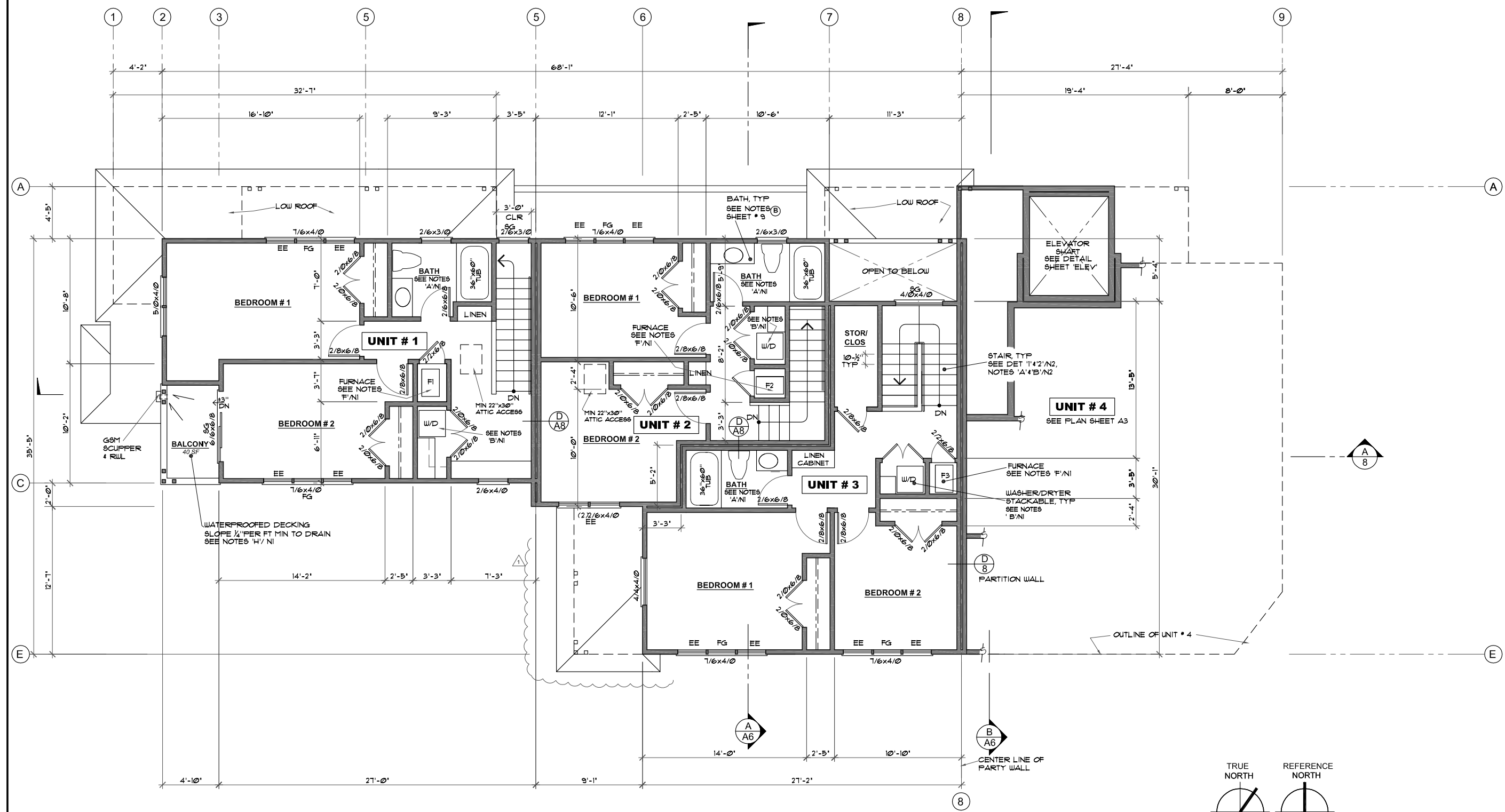
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PLNG	HE

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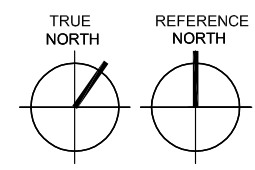
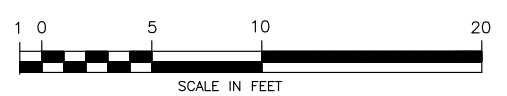
**FOUR UNIT CONDOMINIUM**  
 661 SAN BRUNO AVENUE  
 BRISBANE, CA 94005  
 AP# 007-362-090

**J DEAL ASSOCIATES**  
 RESIDENTIAL DESIGN TEAM  
 331 BEACH ROAD, SUITE A  
 BURLINGAME, CA 94010  
 TEL: (650) 691-1310  
 www.jdealassociates.com

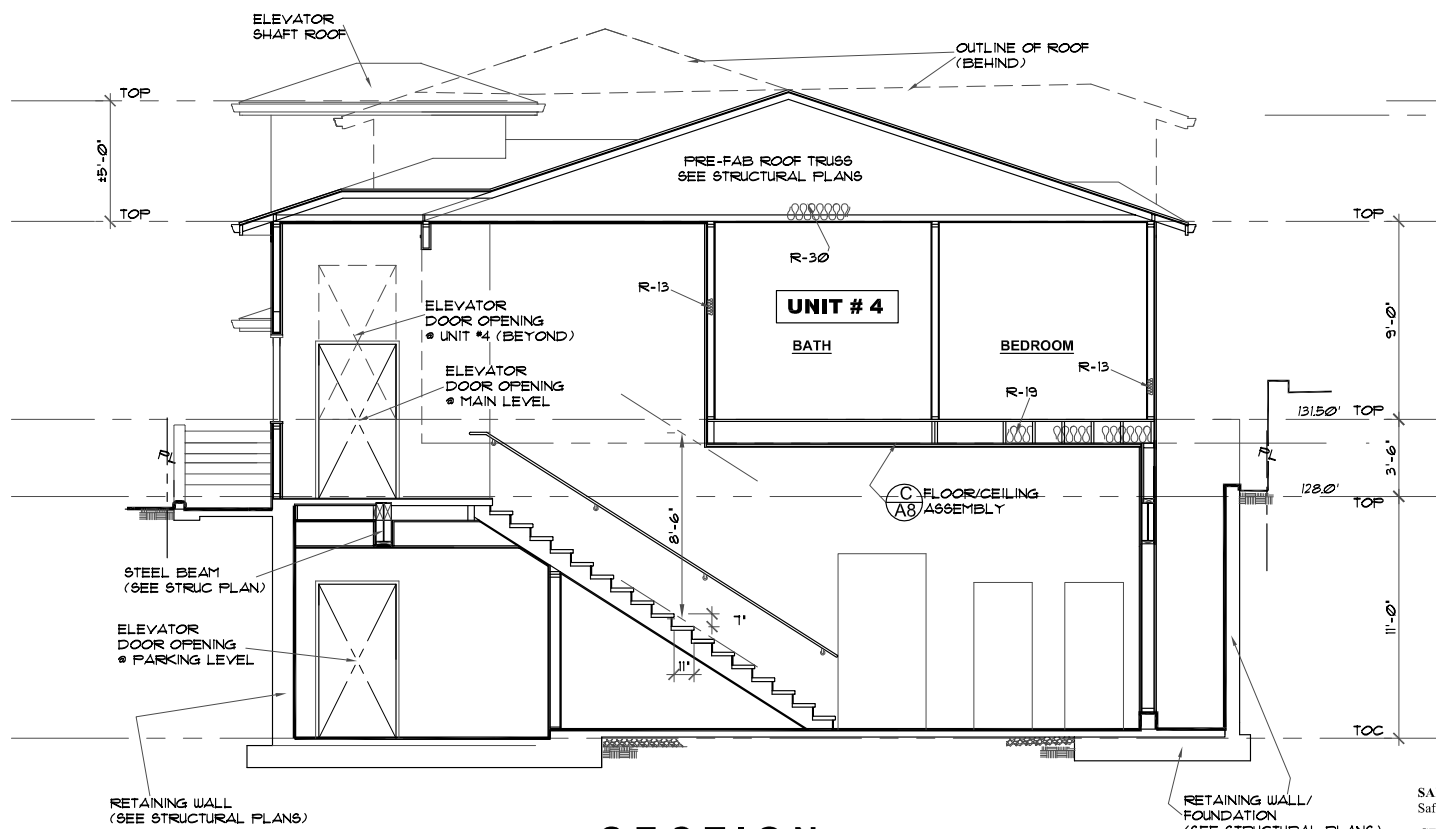
DATE: 03/30/18  
 SCALE: AS NOTED  
 DRAWN:  
 JOB: JOHNSON  
 JOB #:  
 SHEET: **A4**  
 OF SHEET: 1



**1 THIRD FLOOR PLAN**  
 SCALE 1/4" = 1' - 0"







**B SECTION**  
SCALE 1/4" = 1' - 0"  
A6

**SAFETY GLAZING**  
Safety glazing shall be provided at all hazardous locations as per CBC

**CRAWL SPACE VENTILATION**  
provide ventilation with 6" x 14" screened galv. metal vents as per elevations or as noted with 1/4" galv. wire mesh shall conform to current CBC and the General Notes. Provide a 18 inch x 24 inch minimum access.

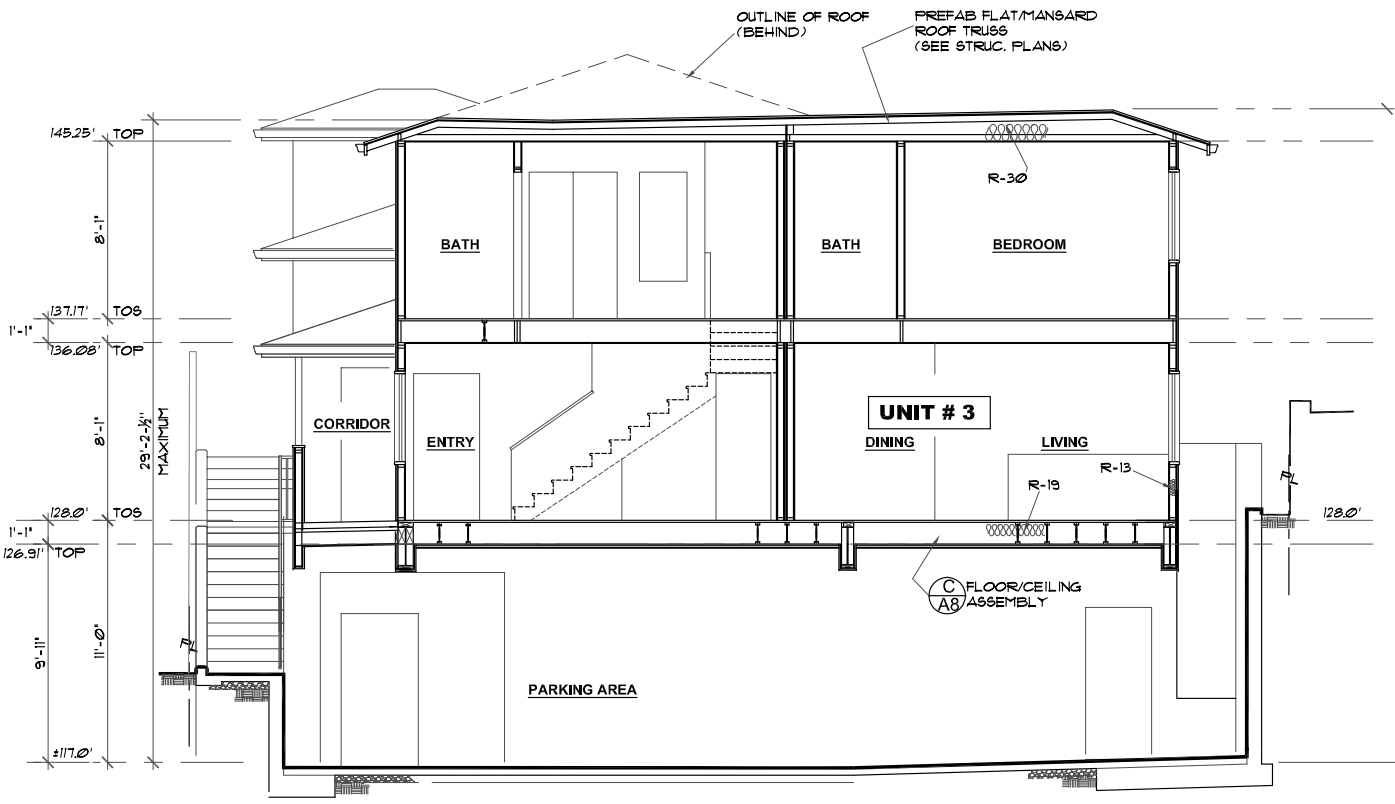
**ATTIC VENTILATION**  
Provide ventilation openings with 1/4" galv. wire mesh screens as per current CBC and the General Notes

**ACCESS OPENINGS INTO ATTICS**  
Provide attic access at a hallway or other readily accessible location with a minimum opening size of 22" x 30" as per CBC

(REAR)  
**2 EAST ELEVATION**  
SCALE 1/4" = 1' - 0"  
A6

- LEGEND**
- (E) - 'EXISTING'
  - (N) - 'NEW'
  - TOP - TOP OF PLATES
  - TOS - TOP OF SUBFLOOR
  - TOC - TOP OF CONCRETE
  - TOD - TOP OF DECK
  - FF - FINISH FLOOR
  - FV - FOUNDATION VENT
  - DS - DOWNSPOUT
  - RUL - RAINWATER LEADER
  - EE - EMERGENCY EGRESS
  - FG - FIXED GLASS
  - SG - SAFETY GLAZING/TEMPERED GLASS
  - DH - DOUBLE HUNG
  - CSMT - CASEMENT
  - AJLN - AJLNING
  - FD - FRENCH DOOR

THE TEMPORARY LABEL (NFRC) WHICH STATES THE LISTED U-VALUE FOR ALL FENESTRATION PRODUCTS SHALL NOT BE REMOVED PRIOR TO INSPECTION

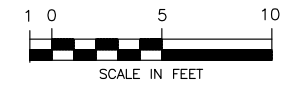


**A SECTION**  
SCALE 1/4" = 1' - 0"  
A6

**ILLUMINATED STREET NUMBER**  
Approved numbers or addresses shall be placed in such a position as to be plainly visible and legible from the street or road fronting the property. Said numbers shall contrast with their background, shall be a minimum of one-half (1/2) inch stroke by two and one-half (2 1/2) inches high, and shall be either internally or externally illuminated in all new construction, alterations or repair of existing construction. The power of such illumination shall not be normally switch able.



(FRONT)  
**1 WEST ELEVATION**  
SCALE 1/4" = 1' - 0"  
A6



REVISIONS	BY
PLNG	HE

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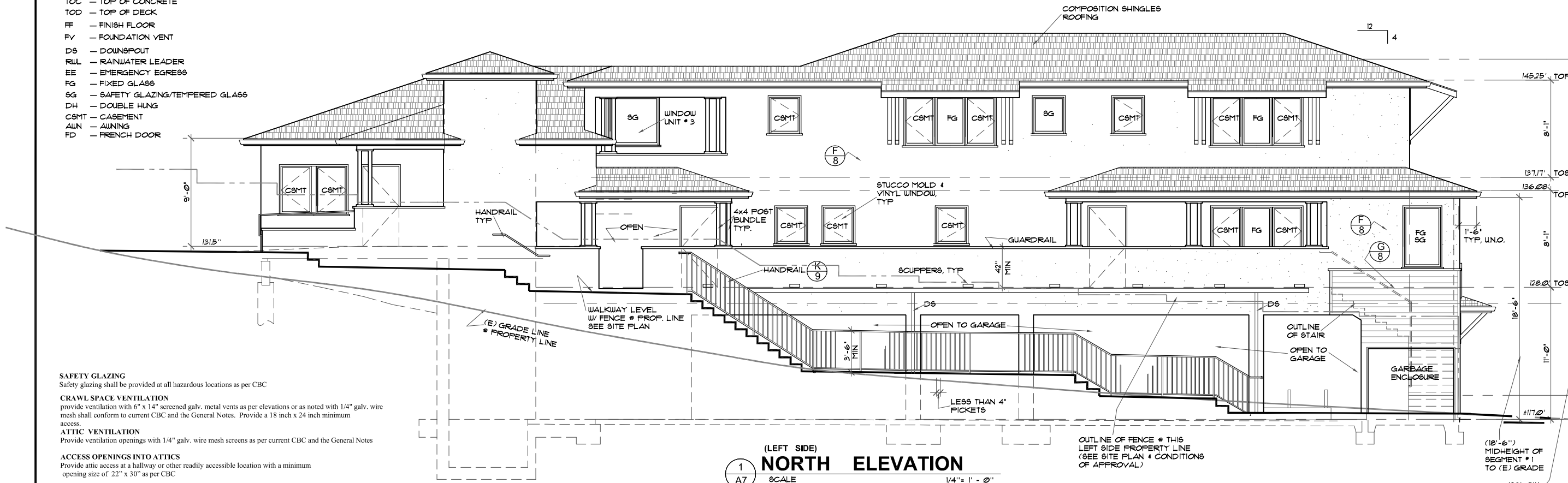
**J DEAL ASSOCIATES**  
RESIDENTIAL DESIGN TEAM  
331 BEACH ROAD, SUITE A  
BURLINGAME, CA 94010  
TEL: (650) 691-1310  
www.jdealassociates.com

DATE 03/30/18  
SCALE AS NOTED  
DRAWN  
JOB JOHNSON  
JOB #  
SHEET  
**A6**  
OF SHEET  
G.T.158



**LEGEND**

- (E) - EXISTING
- (N) - NEW
- TOP - TOP OF PLATES
- TOS - TOP OF SUBFLOOR
- TOC - TOP OF CONCRETE
- TOD - TOP OF DECK
- FF - FINISH FLOOR
- FV - FOUNDATION VENT
- DS - DOWNSPOUT
- RWL - RAINWATER LEADER
- EE - EMERGENCY EGRESS
- FG - FIXED GLASS
- SG - SAFETY GLAZING/TEMPERED GLASS
- DH - DOUBLE HUNG
- CSMT - CASEMENT
- AWN - AWNING
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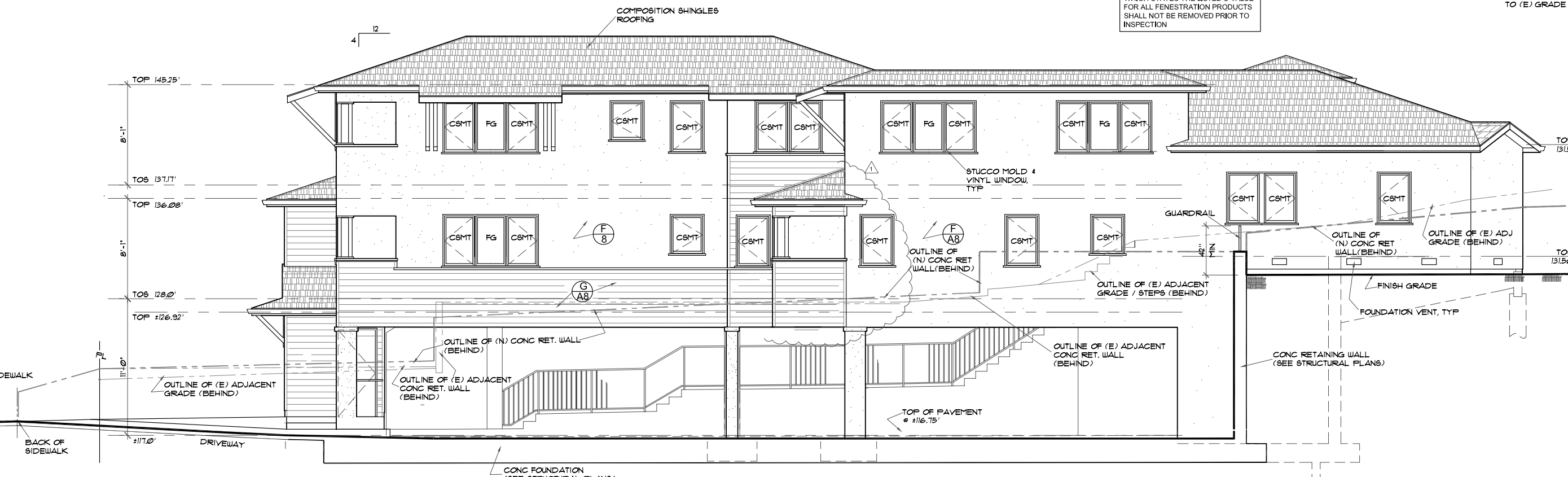


**SAFETY GLAZING**  
Safety glazing shall be provided at all hazardous locations as per CBC

**CRAWL SPACE VENTILATION**  
provide ventilation with 6" x 14" screened galv. metal vents as per elevations or as noted with 1/4" galv. wire mesh shall conform to current CBC and the General Notes. Provide a 18 inch x 24 inch minimum access.

**ATTIC VENTILATION**  
Provide ventilation openings with 1/4" galv. wire mesh screens as per current CBC and the General Notes

**ACCESS OPENINGS INTO ATTICS**  
Provide attic access at a hallway or other readily accessible location with a minimum opening size of 22" x 30" as per CBC



(RIGHT SIDE)  
**2 SOUTH ELEVATION**  
SCALE 1/4" = 1' - 0"

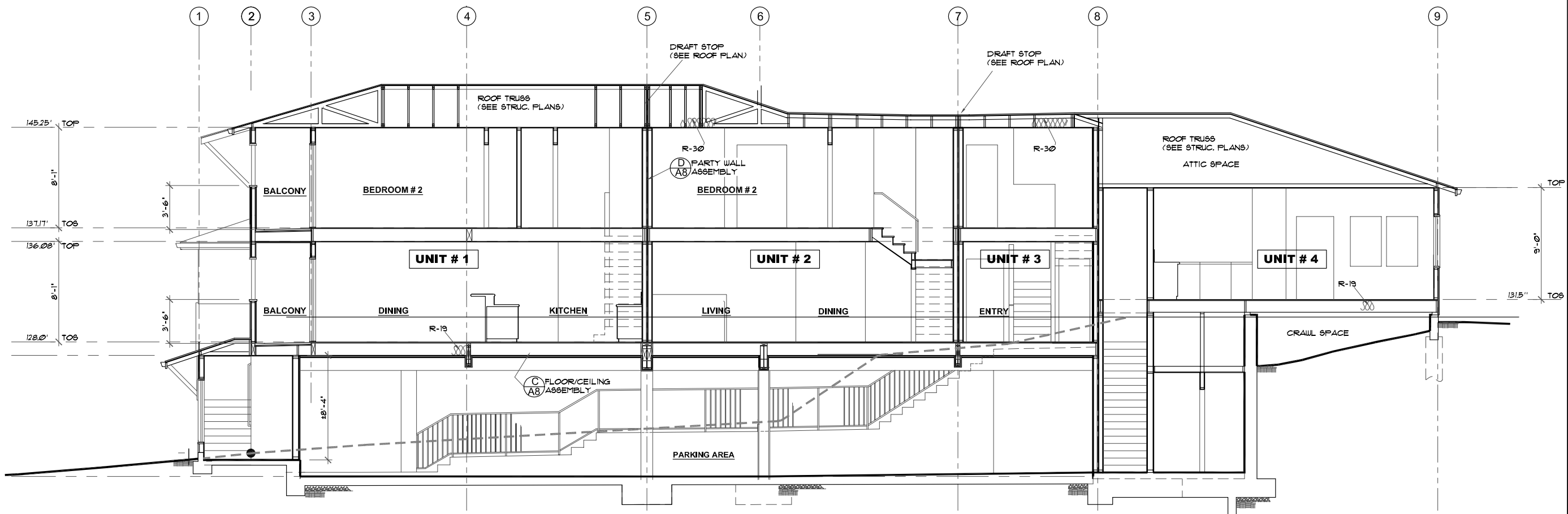


REVISIONS	BY

**FOUR UNIT CONDOMINIUM**  
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AP# 007-362-090

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DATE 03/30/18  
SCALE AS NOTED  
DRAWN  
JOB JOHNSON  
JOB #  
SHEET  
**A7**  
OF SHEET  
G.T.59



**A8**  
**BUILDING SECTION**  
 SCALE 1/4" = 1' - 0"



REVISIONS	BY

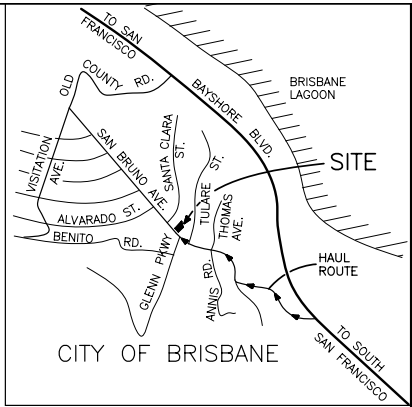
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DATE 03/30/18  
 SCALE A8 NOTED  
 DRAWN  
 JOB JOHNSON

JOB #  
 SHEET **A8**  
 OF SHEET



VICINITY MAP

TOPOGRAPHY NOTES

T-1 FIELD SURVEYING. Performed during April 2004 and updated Dec. 2005, and \_\_\_\_\_ 2017.

T-2 REFERENCE ELEVATION. Top of the fire hydrant on the west side of San Bruno Ave. at the intersection of Santa Clara Ave., just north of the site, EL 112.094, city datum and NGVD 1929. Local reference elevation is the center of the rim of the Sanitary Sewer Manhole in the center of San Bruno Ave. opposite the north property corner, EL 115.68.

T-3 LEGAL DESCRIPTION. Lots 26 and 27 of Block 43 as shown on "Amended Map of Subdivisions Nos 1, 2, and 3, of City of Visitation, California" filed 10-14-1908 in Book 6 of Maps at Page 45 and as referred to in that deed recorded 10-14-2015 at O.R. 2015-108826.

APN 007-362-090 AREA 6,874 SF 0.158 ACRES

T-3 TITLE REPORT AND SEWER EASEMENT. Preliminary Report by Old Republic Title Co., 1408 Chapin Ave. #1, Burlingame, Ca. 94010, dated 6-22-2017, Order No. 0373003714-CI. Exceptions include any easements appearing in public records. This includes an easement for sewer recorded 12-29-1948 in Book 1608 OR. Page 74 which reads, "over a strip of land approximately 3 feet wide, front and rear measurements, starting at the Northwesterly line of Lot 27 and across Lot 26 to the Northwesterly line of Lot 26 and down the Northwesterly line to San Bruno Ave. to connect to the sewer." A previous Title Report included wording as follows, "the exact location of such easement where it crosses the rear portion of Lot 26 cannot be located from the foregoing description." Kavanagh Engineering surveyed a 6" sewer cleanout just beyond the site on Lot 6 and has shown the 3 feet wide easement crossing Lot 26 in its "approximate" location. Kavanagh Engineering believes the easement follows the actual location of the sewer.

T-4 EXISTING UTILITIES. Shown based on surface evidence and record maps as available. Call Underground Service Alert (800) 227-2600 48 hours in advance of any digging, to have underground lines located.

T-5 PARCEL MAP AND CONDOMINIUM PLAN. This will be prepared per city and state requirements. Site will be Parcel 26-27. When available, data will be entered here:

Filed \_\_\_\_\_ in Volume \_\_\_\_\_ of Parcel Maps at Page \_\_\_\_\_

CIVIL SHEET INDEX

- C-1 TOPOGRAPHIC MAP AND DEMOLITION PLAN
- C-2 CIVIL PLAN, NOTES AND SPECIFICATIONS
- C-3 SECTIONS, DETAILS AND OFFSITE STORM DRAIN
- C-4 EROSION CONTROL PLAN, CIVIL DETAILS AND SPECIFICATIONS

TOPOGRAPHY LEGEND

- FOUND 3/4" IRON PIPE IN MONUMENT BOX (RCE 12081) PER 6 LLS 111,112.
- FOUND 3/4" IRON PIPE (LS 3855) PER 33 PM 43-44.
- + SET CUT 'X' IN CONCRETE
- SET HUB
- 3/4" IRON PIPE (TO BE SET)
- ⊙ ELECTRIC METER
- ⊙ GAS METER

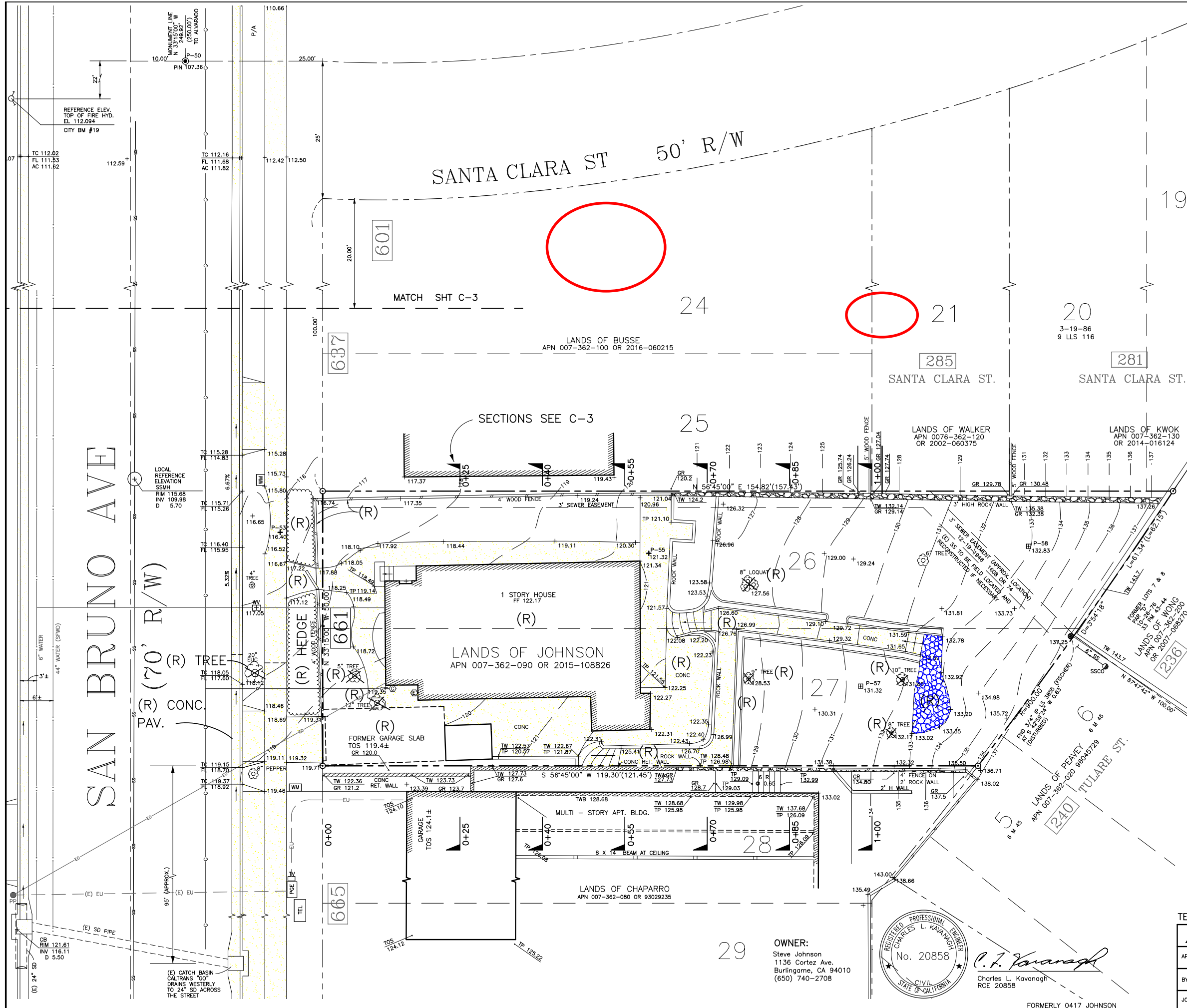
TENTATIVE PARCEL MAP FOR CONDOMINIUM PURPOSES

KAVANAGH ENGINEERING 470 CHATHAM RD. BURLINGAME, CA 94010 (650) 579-1944		SHT:
APPR: CLK	STEVE JOHNSON 661 SAN BRUNO AVENUE BRISBANE, CA	C-1
BY: NAR DAR DIS	FOUR UNIT CONDOMINIUM TOPOGRAPHIC MAP & DEMOLITION PLAN	1 OF 4
JOB: 1713 BRIS JOHNSON		SCALE: 1"=8'
		DATE: 3-30-2018



OWNER:  
Steve Johnson  
1136 Cortez Ave.  
Burlingame, CA 94010  
(650) 740-2708

*C.L. Kavanagh*  
Charles L. Kavanagh  
RCE 20858



SAN BRUNO AVE (70' R/W)

SANTA CLARA ST 50' R/W

601

637

661

665

24

25

26

27

28

29

21

20

285

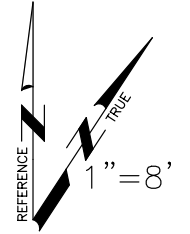
281

19

6

240

236



1" = 8'

REFERENCE ELEV. TOP OF FIRE HYD. EL. 112.094 CITY BM #19

LOCAL REFERENCE ELEVATION SSMH RIM 115.68 INV 109.98 D 5.70

PEPPER 119.31

(E) CATCH BASIN CALTRANS "60" DRAINS WESTERLY TO 24" SD ACROSS THE STREET

FORMERLY 0417 JOHNSON

**GENERAL CONSTRUCTION NOTES**

G-1 GENERAL. All work shall conform with the requirements of the city of Brisbane. This includes the 1997 Uniform Building Code, the 2001 California Building Code, the California Code of Regulations Title 19, and the Brisbane Municipal Code. In addition, street curbs, gutters, and sidewalk shall conform to the California Department of Transportation (Caltrans) Standard Plans and Specifications of 1997. In addition, Fire Sprinklers shall be in accordance with the 2001 California Fire Code (CFC), the 1999 National Fire Code, and the National Fire Protection Association (NFPA) Standard 13-R for residential systems. Separate permit applications are required for Grading and for the fire sprinkler system. An Encroachment Permit is required for all work in the public right of way of San Bruno Ave.

G-2 ARCHITECT'S PLANS. By JD Associates, 875 Mahler Rd. #200 Burlingame, Ca. 94010, Phone (650) 697-1370. Included are Structural Engineering plans by Dominic Chu, 3724 So. El Camino Real, San Mateo, Ca. 94403, Phone (650) 578-9899.

G-3 LANDSCAPE PLANS. See Architect's plans.

G-4 GEOTECHNICAL REPORT. Prepared by PGSOILS INC., 901 Rose Ct. Burlingame, phone (650) 347-3934, dated April 2005. All soils and foundation work shall be in accordance with the recommendations of the Geotechnical Engineer. Call soil engineer 48 hours prior to starting any earthwork. The owner will hire the Geotechnical Engineer to observe and test the soils and foundation work and prepare written reports on same.

G-5 EARTHWORK. See quantities in the "Earthwork Summary" on Sht. C-3. For the project, approximately 1,087 cy of export is anticipated. This shall be hauled on the Haul Route shown on Sht. C-1 Vicinity Map and deposited in an appropriate disposal area.

G-6 UTILITY CONTACTS. Contractor shall coordinate construction with utility companies or agencies as follows:

SANITARY SEWER. City of Brisbane

DOMESTIC WATER. City of Brisbane

SFWD WATER (HETCH HETCHY). There is a 44" diameter water line on the westerly side of San Bruno Ave. This is expected to have about 7 to 8 feet of cover and should not be affected by this project.

STORM DRAINAGE. City of Brisbane

GAS AND ELECTRIC. P.G.&E., San Bruno Office, (650) 598-7204

TELEPHONE. AT & T. Coordination (408) 493-8582

CABLE T.V. AT & T Broadband, Daly City.

G-12 STORM DRAINAGE AND DRAINAGE REPORT. The amount of water coming from the site before the project and after the project was calculated and included in the Drainage Report, Calc-5.

G-13 OTHER UTILITIES. Gas, Electric, Telephone, and Cable T.V. To be constructed in a joint trench as much as practical from San Bruno Ave.

G-14 WORK HOURS. As specified by the city. Generally between the hours of 8:00 a.m. and 5:00 p.m.

G-15 CITY INSPECTIONS. Coordinate inspections with the city Building Department, phone (415) 508-2120, or Public Works Department, George Bermudez same number.

G-16 SPECIAL INSPECTIONS. See Structural plan Sht. SGN.1, last note in right hand column. No special inspections for civil items is anticipated.

G-17 JOB SITE SAFETY. Per Cal OSHA. Trenches over 6 feet deep shall be shored.

G-18 SHORING DESIGN. The details on Sht. C-3 are conceptual only. The actual shoring design shall be done by a licensed Civil Engineer or a licensed Structural Engineer with a minimum of 5 years of experience designing similar shoring systems. Shoring plans shall be signed and stamped by the engineer responsible for them and submitted to the Structural Engineer, the Geotechnical Engineer, and the city for review. Wood used in the shoring, if pressure treated, may be left in place.

G-19 HAUL ROUTE. Shown on the Vicinity Map on this cover sheet. This route shall be used for all major material deliveries and exporting of soil.

G-20 CONSTRUCTION STAKING. To be done by Kavanagh Engineering on contract with the owner. Stakes for horizontal and vertical control will be set at corners, angle points, grade breaks, and generally at 20 foot intervals. Staking Diagrams will be issued showing the stakes set in relation to the items to be constructed.

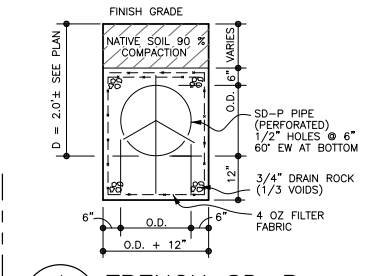
G-21 CONTRACTOR'S WORK AREAS. Contractor shall utilize the site as much as possible for storing materials and equipment. If materials and equipment are to be stored in the street, check with the city first for their requirements.

**CONSTRUCTION LEGEND**

EXISTING (E)	CONSTRUCT (C)	DESCRIPTION
SS	SS	SANITARY SEWER
	W	WATER
	SD SOLID PIPE	STORM DRAIN See note CS-8
	SD-P PERF. PIPE	CATCH BASIN See note CS-9
	CB	ELEC. UNDERGR. PER PG&E STD
EU	EU	GAS LINE PER PG&E STD
G	G	CURB AND GUTTER
		RETAINING WALL
		PCC CONCRETE PAVING

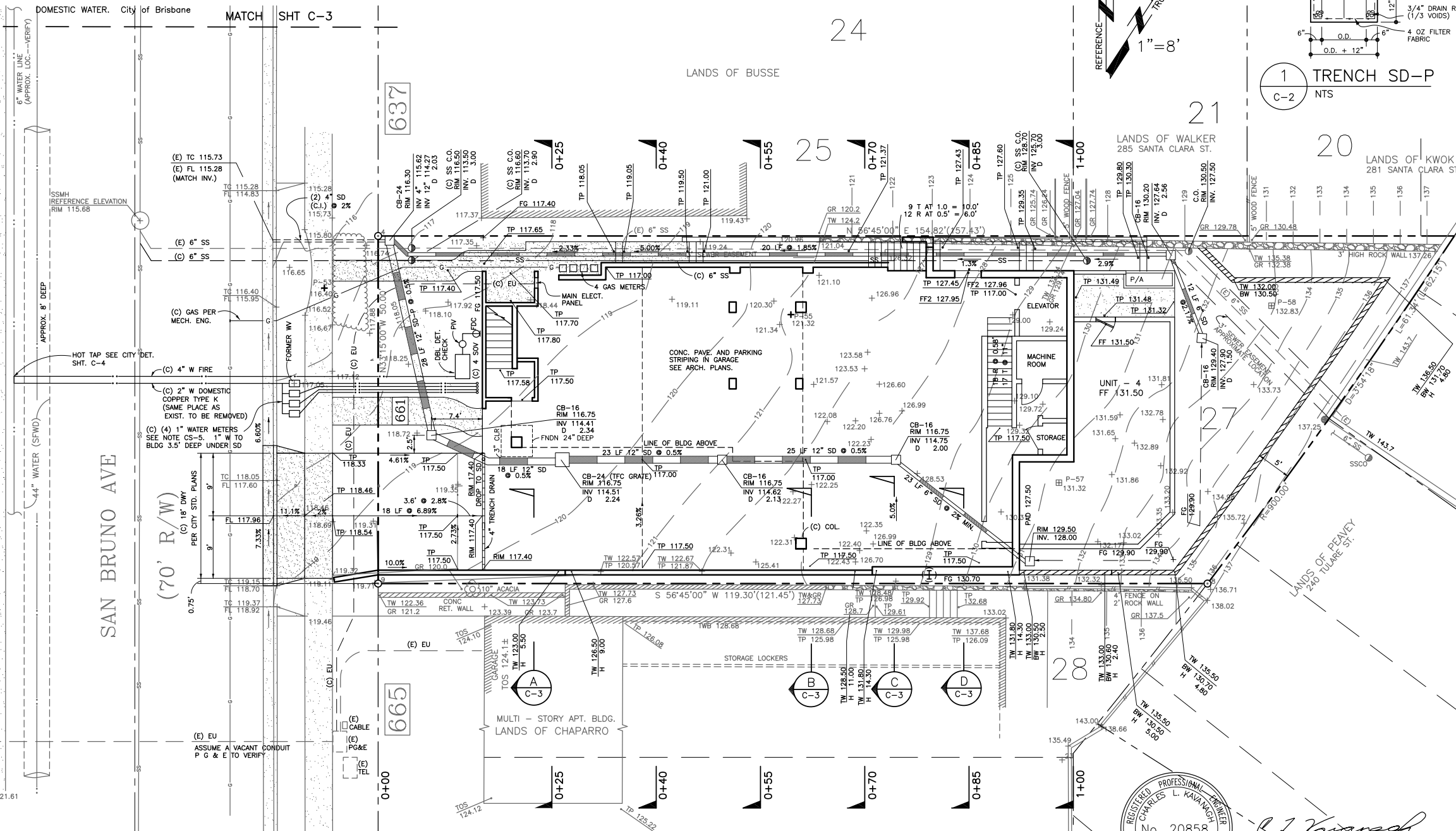
**ABBREVIATIONS**

(C)	CONSTRUCT
(E)	EXISTING
(R)	REMOVE
AC	ASPHALT CONCRETE
AB-2	CLASS 2 AGG. BASE (CALTRANS)
BW	BOT. OF WALL
CB	CATCH BASIN
C.O.	CLEANOUT
CONC	CONCRETE (PCC)
D	DEPTH (RIM TO INV)
EO	ELECTRIC OVERHEAD
FF	FINISH FLOOR
FFH	FIRE HYDRANT
FG	FINISHED GRADE
GR	GROUND (EXIST.)
H	HEIGHT (OF RET. WALL)
PIV	POST INDICATOR VALVE (FIRE)
SD	STORM DRAIN
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB
TOE	TOE OF SLOPE
TOS	TOP OF SLAB
TP	TOP OF PAVEMENT
TS	TOP OF SLOPE
TW	TOP OF WALL
W	WATER
WM	WATER METER
WV	WATER VALVE



**CIVIL SPECIFICATIONS**

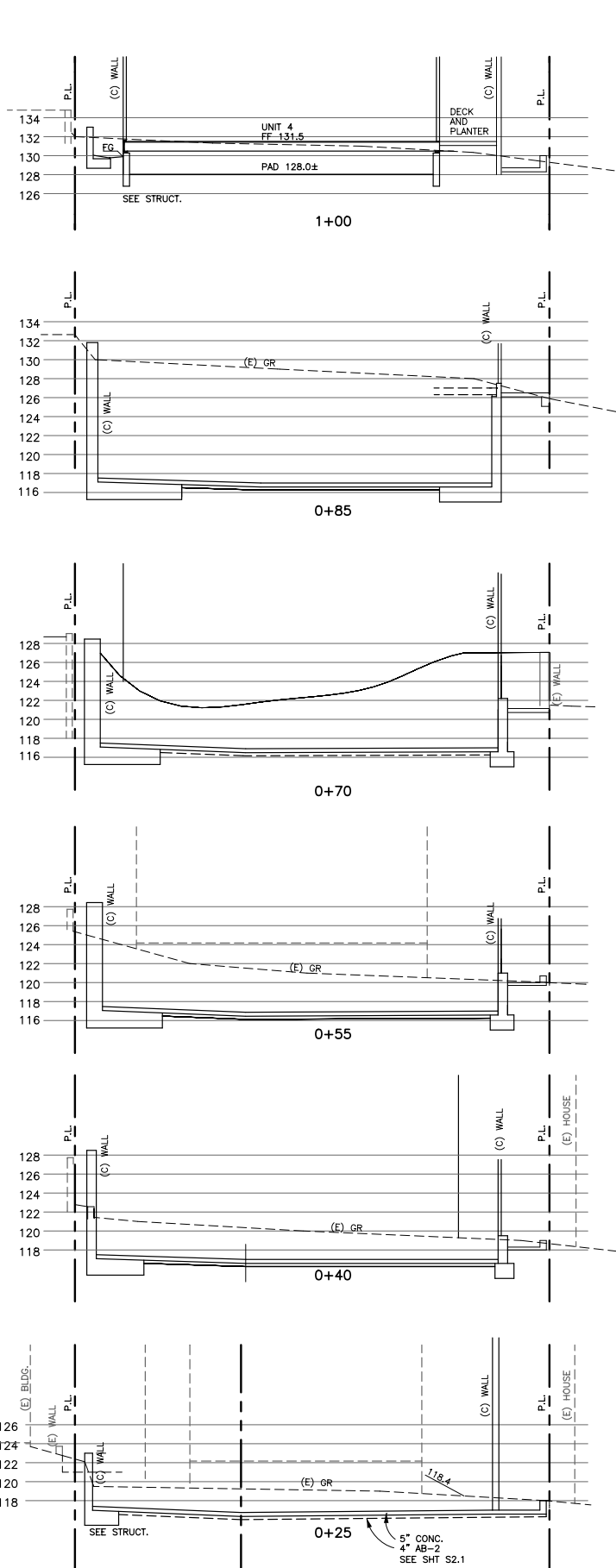
- CS-1 GENERAL. See Sheet C-2 for "General Construction Notes".
- CS-2 REMOVALS. Items to be removed shall be removed offsite and are indicated on Sht. C-1, including concrete pavement from the driveway, small trees, garage, house, and concrete patio and steps in the back yard and retaining walls.
- CS-3 SANITARY SEWER. Construct a new 6" lateral from the new building to the existing 6" sanitary sewer in the center of the street. Pipe shall be High Density Polyethylene (HDPE) with heat welded joints. Cleanouts shall be according to city standard plans. There is an existing 6" sanitary sewer in an easement crossing the NE portion of the site to the north property line and following the north property line to the street. The owner says this is old VCP pipe. This easement line shall be protected and remain operational during construction. If it is damaged, or is currently infiltrating, it shall be repaired with new pipe. Cleanouts to be in Christy B-9 box, conc. lid.
- CS-4 WATER PRESSURE. The City of Brisbane has a 6" water main on the westerly side of San Bruno Ave. between the 44" SFWD line and the curb. There is a fire hydrant at the intersection of San Bruno Ave. and Glenn Park just to the south of the site. This hydrant had flow testing in 1997 with results as follows (from Jerry Flanagan of the city): Static pressure 100 psi, Residual pressure 86 psi, with flow 1,403 gpm. This hydrant is estimated to be 25 feet higher than the site, so static pressure at the site will about 0.432 x 25, or 10 psi higher than at the hydrant, or 110 psi. The fire hydrant at the intersection of San Bruno Ave. and Santa Clara St. is connected to the 44" SFWD and not the 6" city water main.
- CS-5 WATER--DOMESTIC. Construct a new 2" domestic water service from the existing 6" water line far side of the street. Water meters shall be 1", and service lines to bldg shall be 1". See Sht. C-4 for standard city water details.
- CS-6 FIRE WATER SERVICE. Construct a 4" water line from the city's 6" water main on the far side of San Bruno Ave., to the site and construct an above ground double detector check Backflow Preventor and Post Indicator Valve (PIV) before going into the building. See Sht. C-4 for details.
- CS-7 FIRE SPRINKLER DESIGN. See Sht. C-2, Note G-1 for general code and permit requirements. Submit plans and calculations prepared, stamped, and signed by a licensed engineer to the city for review. Fire flow requirements shall meet Calif. Fire Code Appendix III-A.
- CS-8 STORM DRAIN PIPES. Shall be PVC SDR-35 with solvent cement joints. 12" storm drain crossing street shall be RCP (ASTM C76) with rubber gaskets.
- CS-9 CATCH BASINS. Shall be Christy Concrete or approved equal with cast iron or galvanized steel grates as follows:
  - CB-12 V-9 Drain Box 10" x 15.25" cast iron grate
  - CB-16 V-64 15-7/8" square cast iron grate
  - CB-24 U-21 26.5" square welded steel, galvanized grate, traffic CALTRANS "GO" Per Caltrans Std. Plans D74/B, D74C, AND D77A
- CS-10 CONCRETE. For curbs, gutters, and sidewalks shall be Caltrans Class A, 6-sack, 3,000 psi, maximum slump 4". Add lampblack per city requirements. See Structural plans for concrete for the building and retaining walls.



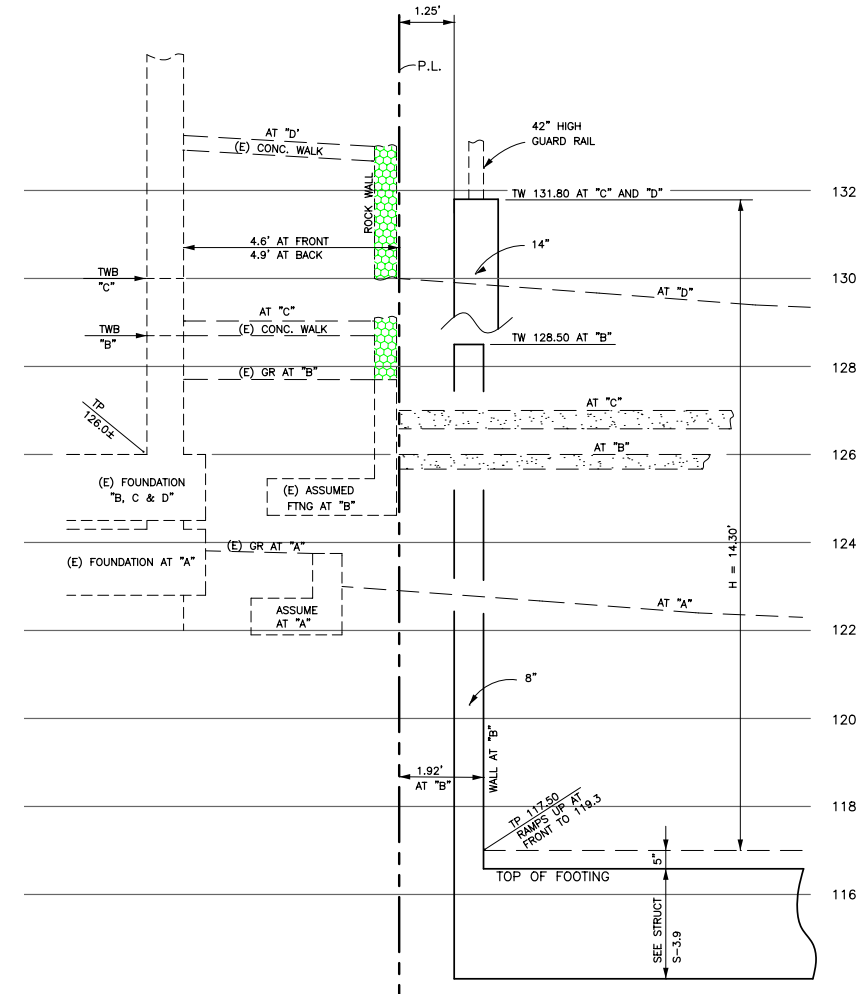
Charles L. Kavanagh  
RCE 20858

**TENTATIVE PARCEL MAP FOR CONDOMINIUM PURPOSES**

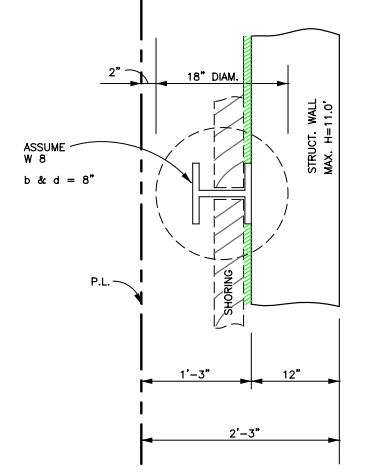
KAVANAGH ENGINEERING 470 CHATHAM RD. BURLINGAME, CA 94010 (650) 579-1944		SHT: <b>C-2</b>
APPR: CLK	STEVE JOHNSON 661 SAN BRUNO AVENUE BRISBANE, CA	SCALE: 1"=8' DATE: 3-30-2010
BY: DIS CLK	FOUR UNIT CONDOMINIUM CIVIL PLAN NOTES & SPECIFICATIONS	
JOB: 1713 BRIS JOHNSON		



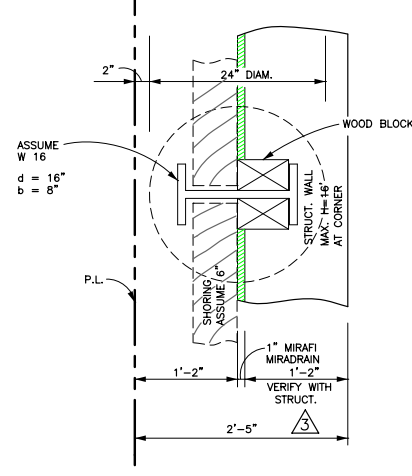
1 SECTIONS  
C-3 1"=8'



A,B,C,D SHORING SECTIONS  
C-3 1"=2'



E SHORING PLAN AT "A" & "B"  
C-3 1"=1'-0"



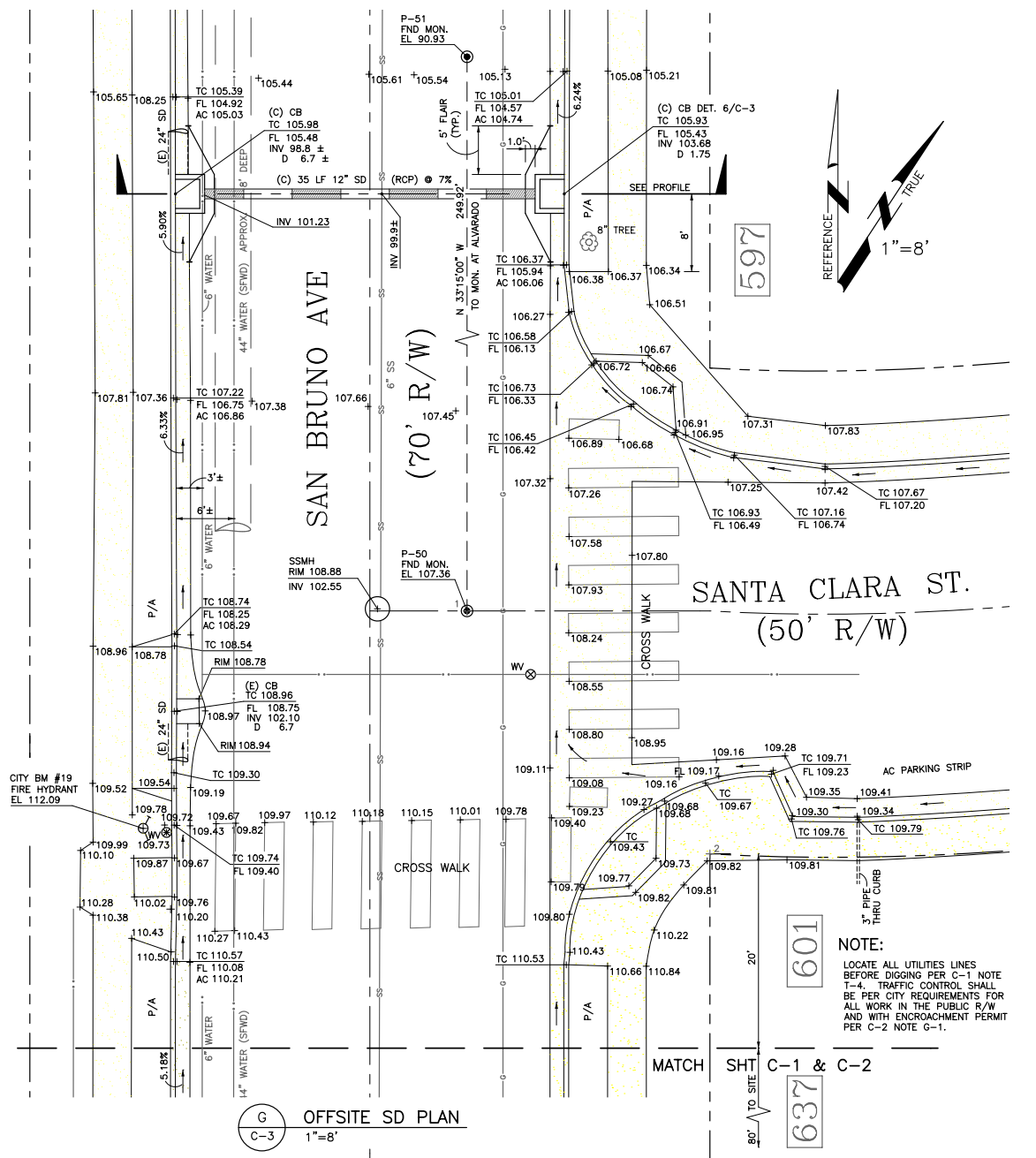
F SHORING PLAN AT "C" & "D"  
C-3 1"=1'-0"

EARTHWORK CALCULATIONS

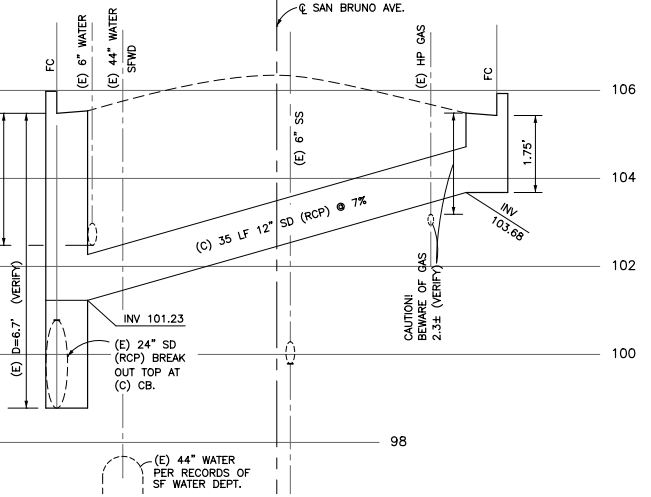
SECTION	LENGTH (FT)	WIDTH (FT)	CUT (FT)	VOL. CUT (CY)
0+25	17	40	4.0	101
0+40	15	40	4.0	89
0+55	15	42	6.0	140
0+70	15	42	8.5	198
0+85	15	42	13.0	303
1+00	24	36	3.5	112
<b>SUBTOTAL</b>				<b>943</b>
FRONT 21' x 50' x cut 1.6				60
BACK Area 780 x 2.9				84
<b>PROJECT TOTAL</b>				<b>1,087</b>



*C. L. Kavanagh*  
Charles L. Kavanagh  
RCE 20858



G OFFSITE SD PLAN  
C-3 1"=8'



H OFFSITE SD PROFILE  
C-3 H 1"=8' V 1"=2'

TENTATIVE PARCEL MAP FOR CONDOMINIUM PURPOSES

**KAVANAGH ENGINEERING**  
470 CHATHAM RD. BURLINGAME, CA 94010 (650) 579-1944

APPR: CLK  
BY: DIS CLK  
JOB: 1713 BRIS JOHNSON

STEVE JOHNSON  
661 SAN BRUNO AVENUE  
BRISBANE, CA

**FOUR UNIT CONDOMINIUM**  
**SECTIONS, DETAILS & OFFSITE STORM DRAIN**

SHT: C-3  
3 OF 4  
SCALE: NOTED  
DATE: 3-30-2018

# PLANT LIST

Project: Four Unit Condo

SYMBOL	SCIENTIFIC NAME	COMMON NAME	PURCHASE SIZE	Qty.	NOTES
<b>TREES</b>					
BP	<i>Pyrus calleryana</i> 'Aristocrat'	Aristocrat Bradford Pear	24" box 15 gallon	1	Deciduous, 30' tall, 15' wide
RB	<i>Cercis 'Forest Pansy'</i>	Redbud	24" box 15 gallon	3	Deciduous, 25-20' tall, purple flower
M	<i>Acer rubrum</i> 'Columnar'	Columnar Red Maple	15 gallon	7	Deciduous, pyramidal form, 10' wide x 30' tall, good fall color
+	<i>Cotinus coggygria</i> 'Royal Purple'	Purple Smoke Tree	15 gallon	1	Deciduous 15' tall, 10' wide, purple foliage
C	<i>Raphiaelis x 'Montic'</i>	Majestic Beauty Indian Hawthorn	15 gallon	10	Evergreen, tree form, 20' tall, 8' wide, single trunk
ML	<i>Lemon, Citrus meyeri</i>	Meyer Lemon	15 gallon	1	Evergreen, grows 15 - 20' tall

SYMBOL	SCIENTIFIC NAME	COMMON NAME	PURCHASE SIZE	Qty.	NOTES
<b>GROUND COVERS, &amp; VINES</b>					
ap	<i>Ceratostigma plumbaginoides</i>	Dwarf Plumbago	6" pot	27	1' tall
•••	<i>Salvia nemorosa</i> 'Blue Hill'	Salvia	4" pot	37	Purple flower, 14" tall
	<i>Verbena 'Tapien'</i>	Pink Verbena	4" pot	20	Pink flower, 3" high, 18" spread
•••••	<i>Fescue glauca</i>	Blue fescue	6" pot (full)	10	Evergreen grass tufts, 8" tall
	<i>Sedum spectabile</i>	Stonecrop	1 gallon	14	Evergreen succulent, 1-1/2' tall and wide, copper-red flower
★	<i>Passiflora alatacoerulea</i>	Passion Vine	1 gallon (full)	2	Vine, green/purple flower
•••••	<i>Fescue</i>	Sod			

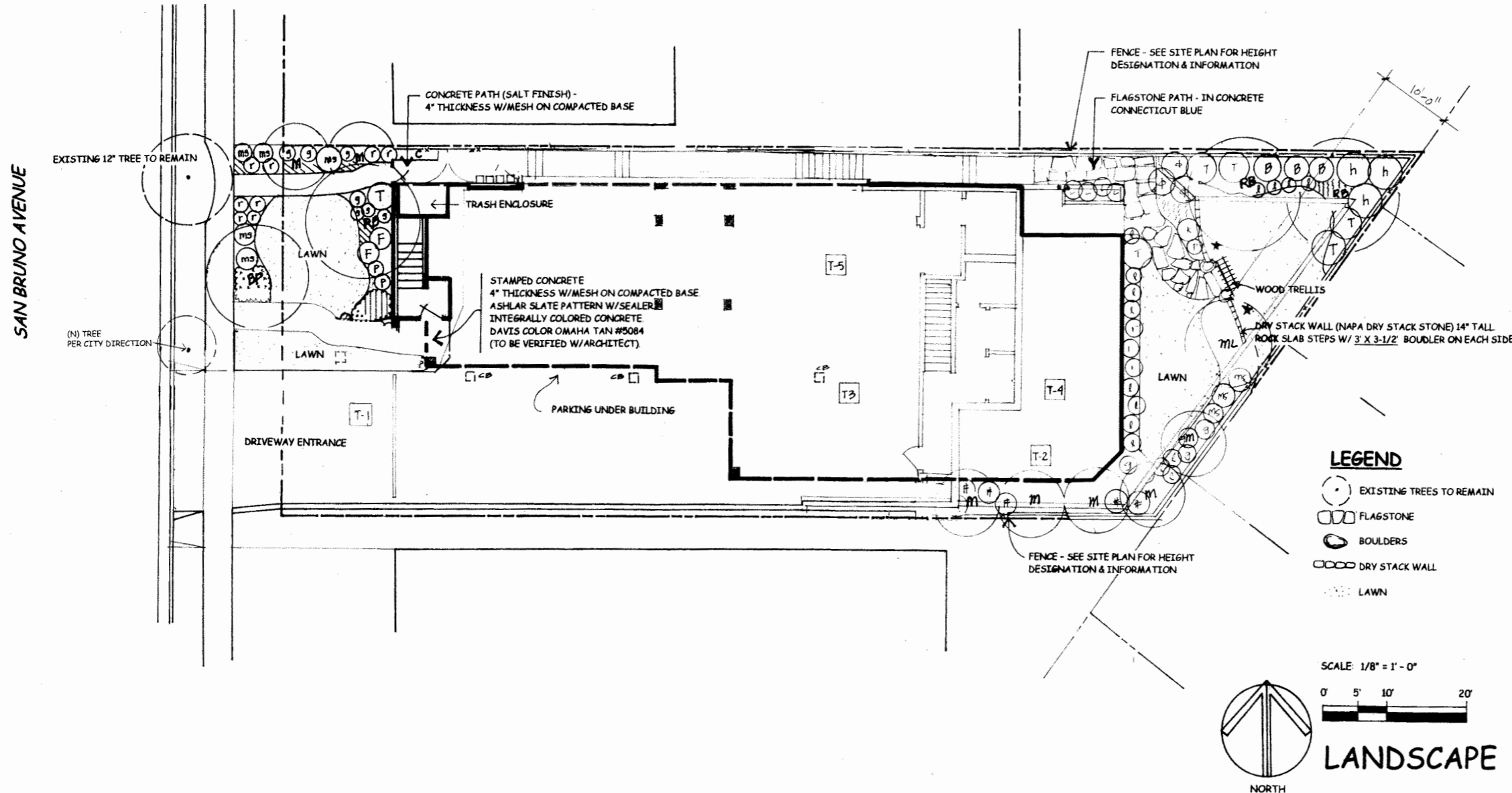
SYMBOL	SCIENTIFIC NAME	COMMON NAME	PURCHASE SIZE	Qty.	NOTES
<b>SHRUBS &amp; PERENNIALS</b>					
Ø	<i>Nerium oleander</i> 'Marocco'	Oleander	5 gallon	5	Evergreen, white flower, 6' tall
p	<i>Pennisetum setaceum</i> 'Rubrum'	Purple Fountain Grass	5 gallon	13	Deciduous, arching, 4' tall
B	<i>Buddleia davidii</i> 'Black knight'	Butterfly Bush	5 gallon	3	Semi Evergreen, purple flower, 5' tall
K	<i>Anigozanthos flavidus</i> 'Big Red'	Kangaroo Paws	5 gallon	5	Evergreen, 2 - 3' wide, 5' flower
F	<i>Phormium tenax</i> 'Sundowner'	Sundowner New Zealand Flax	5 gallon	3	Evergreen Upright foliage, 4' tall
r	<i>Rosa 'Iceberg'</i>	Iceberg Rose	1 gallon	6	Upright growing, white flower, Yellow flower, 4' tall
d	<i>Delphinium elatum</i>	Delphinium	1 gallon	3	5' tall, Magenta and Blue Flower, full sun
h	<i>Dodonaea viscosa</i> 'Saratoga'	Purple Hop bush	5 gallon	3	Evergreen plant 6' apart for informal hedge. Grows 10' tall
L	<i>Lavandula angustifolia</i>	English Lavender	1 gallon	8	Evergreen, 2' tall, purple flower
ms	<i>Salvia leucantha</i>	Mexican Sage	5 gallon	9	3-4' tall, purple flower
g	<i>Gardenia 'Veitchii'</i>	Everblooming Gardenia	1 gallon	19	Evergreen 3-4' tall, fragrant
†	<i>Fatsia japonica</i>	Japanese Aralia	1 gallon (full)	7	Grows 4' - 5' tall
T	<i>Tibouchina urvilleana</i>	Princess Flower	5 gallon	6	5' tall and wide, purple fl
⊥	<i>Hemerocallis - Day Lilly</i>	Black-eyed Stella Rocket City	1 gallon	9	Yellow w/red eye, 3' tall
		Prairie Blue Eyes	1 gallon	8	Lavender, 3' tall

## TREE REMOVAL SCHEDULE

Information obtained from Landscape Flections (11/1/04)

Tree to be removed	Size	Labeled as
Acacio	12"	T-1
Apple	8"	T-2
Apple	9"	T-3
Apple	10"	T-4
Loquat	8"	T-5

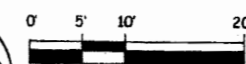
- GENERAL NOTES**
- This drawing is representational only.
  - Landscape features and plants are shown of approximate locations.
  - All measurements and dimensions are approx and will be verified on site by the contractor prior to bidding.
  - Lawn area to receive 2" thick recycled plastic edging.
  - All planting areas to receive 2" thick mini bark mulch.



### LEGEND

- EXISTING TREES TO REMAIN
- ◻ FLAGSTONE
- BOULDERS
- ▭ DRY STACK WALL
- LAWN

SCALE: 1/8" = 1' - 0"



## LANDSCAPE PLANTING PLAN



Designed by: SCB  
 Drawn by: SCB  
 Date: 2005, Nov 18  
 Revised:

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SHEET  
**L1**

SAN BRUNO AVENUE

LIGHTING LEGEND

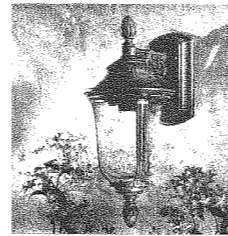
AREA	SYM.	QTY.	FIXTURE	WATTS	COLOR	RISER & BULB	DESIGN INTENT
Path Entrance	⊕	10	FX Luminaire: CapelliBiondi 12 volt	20	Copper	12" R T3 Halogen	Medium lighting to guide along paths and entrances.
Pathway	⊙	18	FX Luminaire: BellaDonna 12 volt	20	Copper	12" R T3 Halogen	Subdued lighting to guide along paths.
Uplights	▽	5	FX Luminaire: MacchiaUltimo 12 volt	35	Bronze Metallic	BasicSpix MR-16 Halogen	Trunk and branch illumination of trees. Broad area but subdued light.
Trellis	■	2	FX Luminaire: TrellisSolare, 12 volt	20	Bronze Metallic	AR-11 Halogen	Medium illumination.
Wall sconce for stairway	■	4	Minka Lavery Luminaire: The Great Outdoors #8997-61 (12 or 120)	Standard	Vintage rust	Standard Bulb	Sconce for welcome. Match black wrought iron door.

The Landscape Contractor shall provide an electrician to:  
 1. Size the wiring and wire lengths.  
 2. Specify the type of transformer, number of zones needed & quantity.  
 3. Specify trenching requirements.  
 4. Verify fixtures are compatible with transformer.

**Suggested Zones**  
 Zone 1 - Front property area (west)  
 Zone 2 - Side property (north)  
 Zone 3 - Back property area (east)



**FX Luminaire  
TrellisSolare® (TS-20, TS-50)**  
 20 watt preferred  
 Low Voltage  
 Color: Bronze Metallic finish  
 Lamp AR-11 Halogen  
 Dimensions: 5" x 2"  
 Standard Spec: TS-20-BZ (TrellisSolare, 20watt, Bronze Metallic finish).



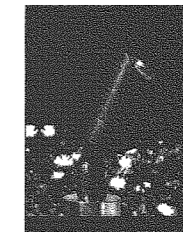
**Minka Lavery** (available at Blaine's Lighting)  
 The Great Outdoors #8997-61  
 Color: Vintage rust or similar in charcoal black preferred.  
 Champagne-style hammered glass  
 Dimensions: 17" height x 7-5/8" (9-1/4" with extension).  
 Location: Downstairs entrance



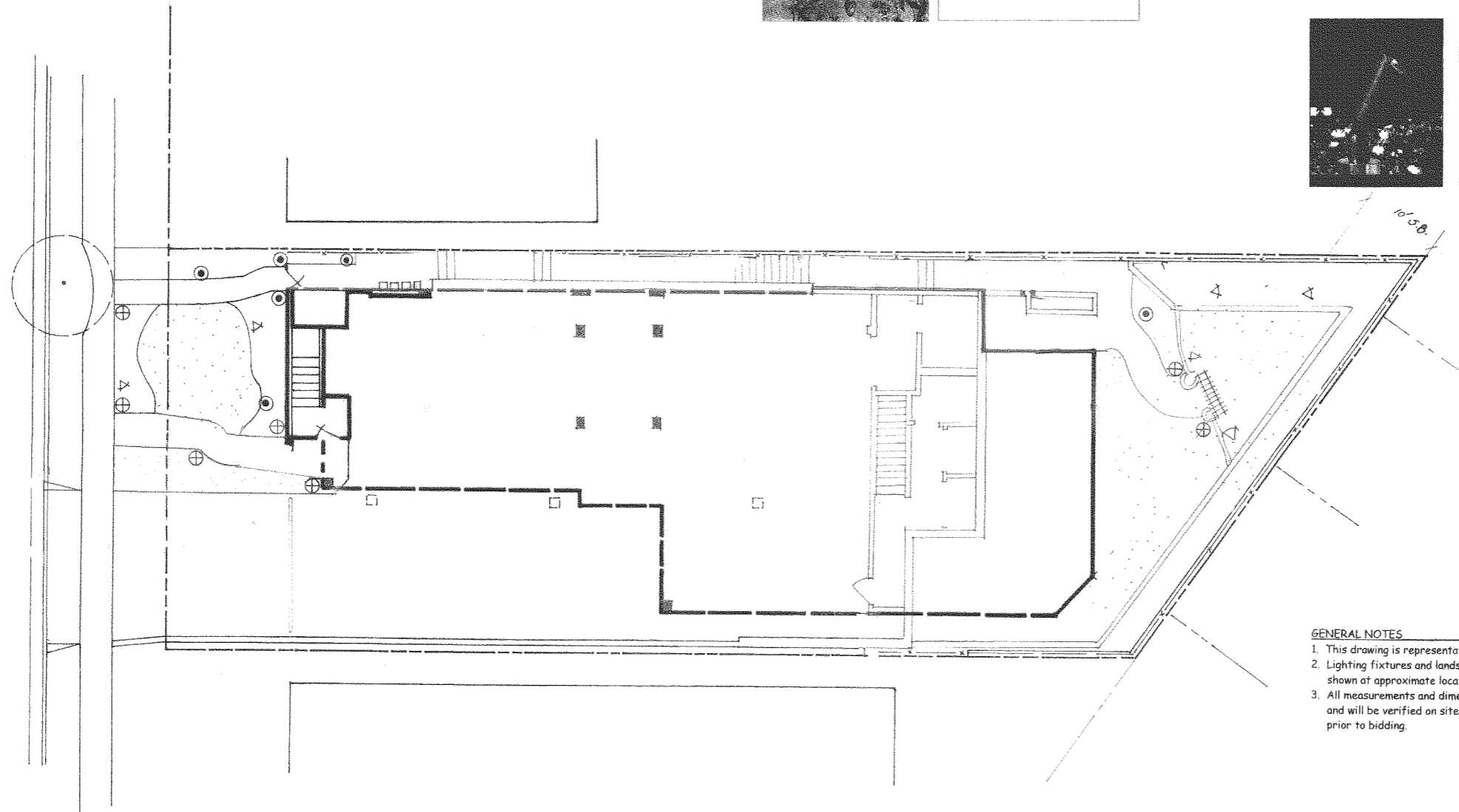
**FX Luminaire  
CapelliBiondi® (CB-20)**  
 20 watt  
 Low Voltage  
 Color: Copper  
 Lamp T3 Halogen  
 Dimensions: 7" top x 14.68"  
 Standard Spec: CB-20-12R (CapelliBiondi, 20watt, 12" Riser, Copper, SuperSpix).



**FX Luminaire  
BellaDonna® (BD-20)**  
 20 watt  
 Low Voltage  
 Color: Copper  
 Lamp T3 Halogen  
 Dimensions: 4" top x 15"  
 Standard Spec: BD-20-12R (BellaDonna, 20watt, 12" Riser, Copper, SuperSpix).



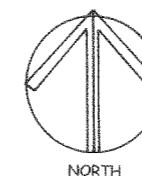
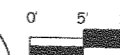
**FX Luminaire  
MacchiaUltimo® (MU-35.) Up light**  
 35W preferred (50 o.k.)  
 Low Voltage  
 Color: Bronze Metallic finish  
 Lamp MR-16 Halogen  
 Beam angle 24, 36 and 60 degrees.  
 Dimensions: 2.4" x 7.5"  
 Standard Spec: MU-20-BZ (MacchiaUltimo, 20watt, Clear Lens, Bronze Metallic finish, BasicSpix).



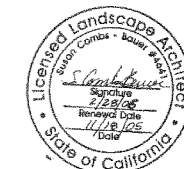
GENERAL NOTES

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SCALE: 1/8" = 1' - 0"



LIGHTING PLAN



Designed by: SCB  
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 Date: 2005, Nov. 18  
 Revised:  
 2006, August 31

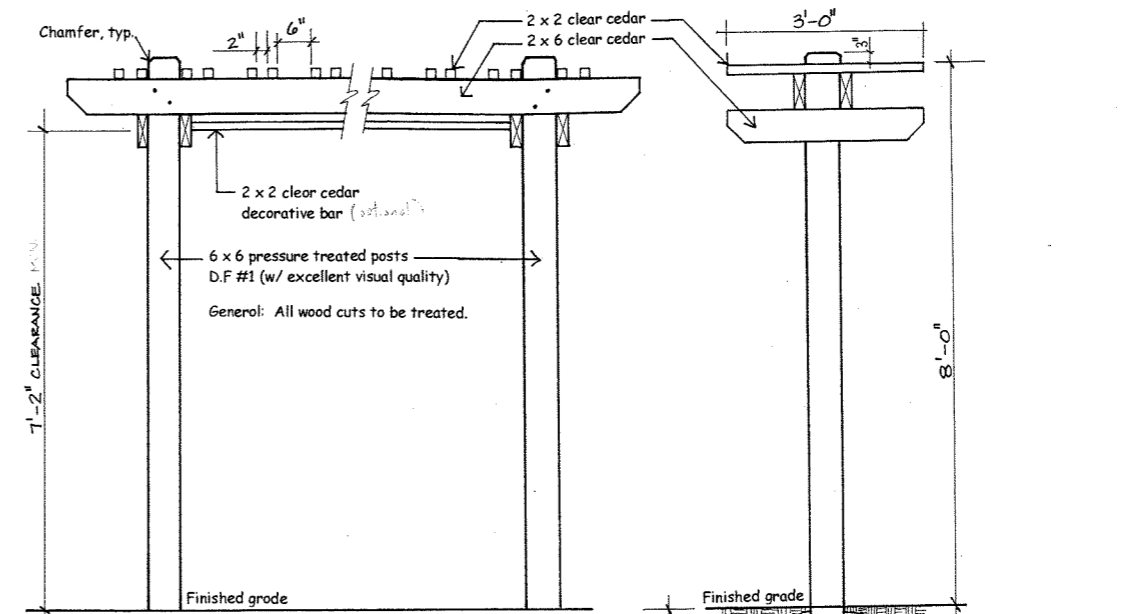
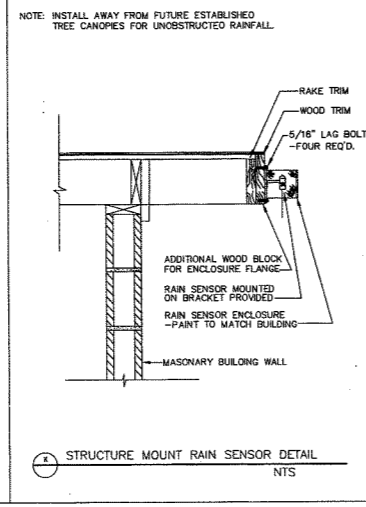
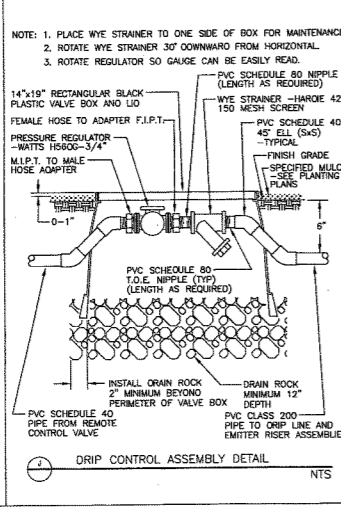
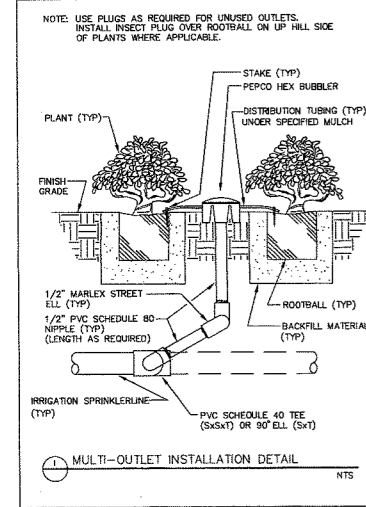
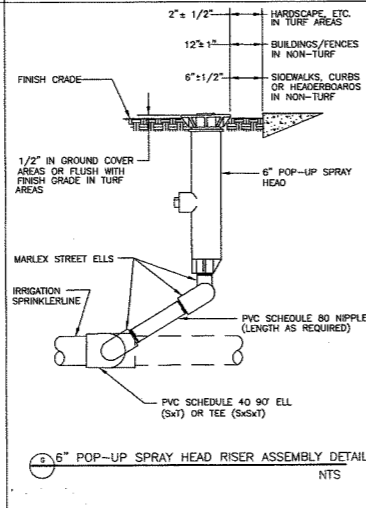
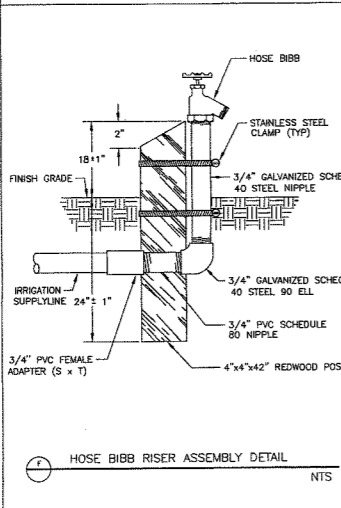
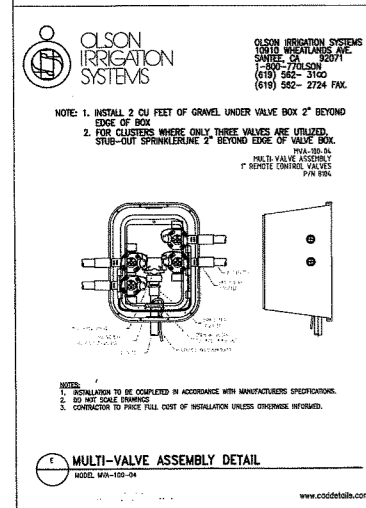
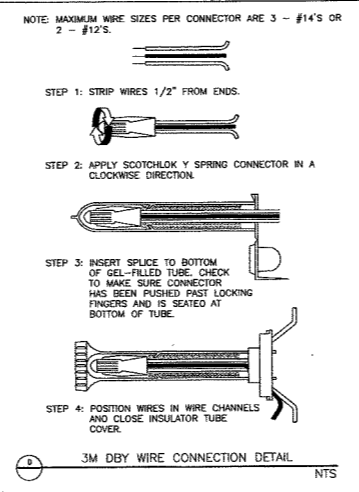
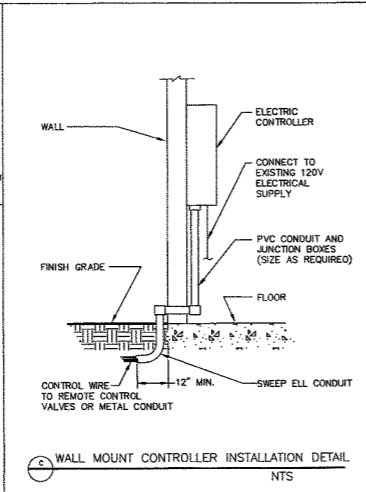
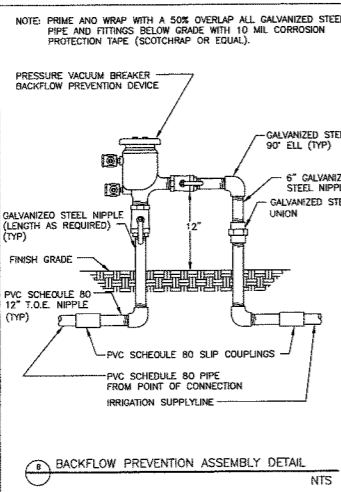
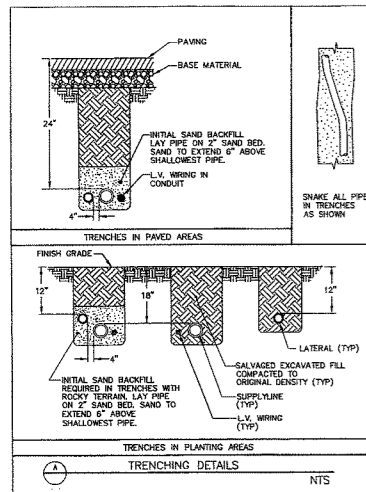
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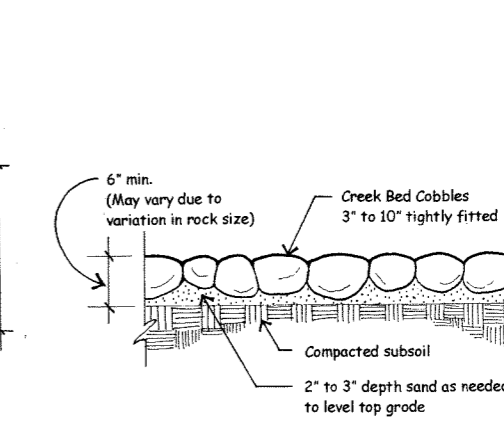
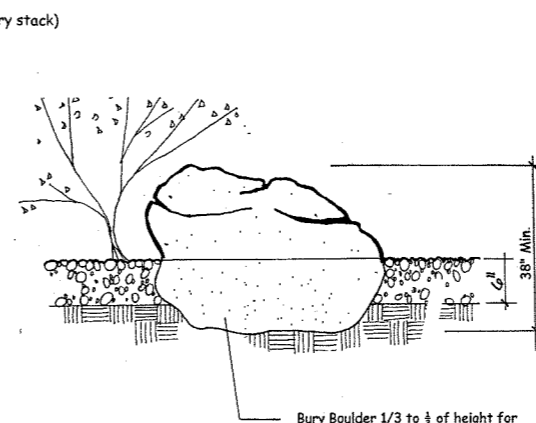
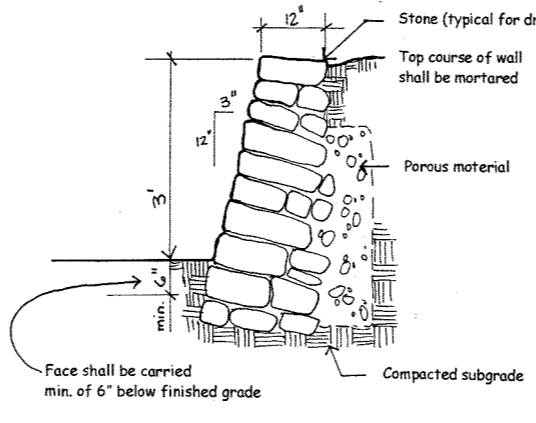
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SHEET  
**L2**



Stones shall be set at right angles to face of wall  
Min. of 1/3 of stones shall be thru stones



**IRRIGATION DETAILS**

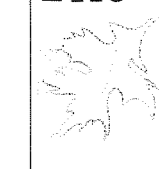
**LANDSCAPE DETAILS**

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SHEET  
**L4**





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