

ABBREVIATIONS

Table with 4 columns: Abbreviation, Description, Abbreviation, Description. Includes items like ABV. ABOVE, A.D. AREA DRAIN, ADJ. ADJUSTABLE, etc.

GENERAL NOTES

1. ALL CONSTRUCTION TO CONFORM TO 2016 CALIFORNIA BUILDING, ELECTRICAL, MECHANICAL, AND PLUMBING CODES AND ALL OTHER STATE, COUNTY, AND CITY ORDINANCE AND REGULATIONS PERTAINING HERETO.
2. CONTRACTOR SHALL EXAMINE AND VERIFY EXISTING CONDITIONS OF THE JOB SITE. ANY DISCREPANCY BETWEEN DRAWINGS AND EXISTING CONDITIONS SHALL BE RECORDED AND REPORTED WITH A SUBMITTAL COPY TO THE ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF WORK. ALL EXISTING CONDITION DIMENSIONS PROVIDED BY OWNER AND ARE NOT VERIFIED BY SURVEYOR OR ARCHITECT.
3. DO NOT SCALE THE DRAWINGS.
4. PERFORM EXCAVATION AND FOUNDATION WORK IN CONFORMANCE WITH THE REQUIREMENTS OF THE SOILS REPORTS.
5. ALL DIMENSIONS ARE TO THE FACE OF OF STUD, FACE OF CONCRETE, OR FACE OR FRAMING UNLESS NOTES OTHERWISE.
6. COMPLY WITH CERTIFICATION REQUIREMENTS OF THE CALIFORNIA ENERGY COMMISSION FOR MECHANICAL EQUIPMENT, PLUMBING TRIM AND FITTINGS, WATER HEATERS, FURNACES, AND APPLIANCES.
7. INSTALL ALL MATERIALS, EQUIPMENT, FIXTURES, AND APPLIANCES IN CONFORMANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS OF THE MANUFACTURER AND THE REQUIREMENTS OF ALL APPLICABLE CODES.
8. ALL SITE-CONSTRUCTED DOORS, SKYLIGHTS, AND WINDOWS, INCLUDING BUT NOT LIMITED TO FIELD MANUFACTURED DOORS, SKYLIGHTS, AND WINDOWS SHALL BE CAULKED BETWEEN THE DOOR, SKYLIGHTS, OR WINDOW AND THE BUILDING, AND SHALL BE WEATHER-STRIPPED.
9. ALL WOOD, INCLUDING POSTS WITHIN 8" OF GROUND TO BE PRESSURE TREATED, FOR SILL PLATES, SLEEPERS OR BLOCKING IN CONTACT WITH CONCRETE OR MASONRY FOUNDATIONS PER C.B.C. 2306.4
10. VERIFY EXACT LOCATION OF PLUMBING AND PIPING WITH THE PLUMBING SUBCONTRACTOR. BRING ANY INCONSISTENCIES TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
11. VERIFY EXACT LOCATION OF MECHANICAL EQUIPMENT, DUCTS, GRILLES, REGISTERS, FLUES, AND VENTS WITH THE MECHANICAL SUBCONTRACTOR.
12. MECHANICAL, HVAC WORK TO BE DESIGN-BUILD AND UNDER SEPARATE PERMIT.
13. ELECTRICAL WORK TO BE DESIGN-BUILD AND UNDER SEPARATE PERMIT.
14. PLUMBING WORK TO BE DESIGN-BUILD AND UNDER SEPARATE PERMIT.
15. THE CONTRACTOR SHALL PROVIDE THE BUILDING OWNER WITH THE LIST OF HEATING, COOLING, AND LIGHTING SYSTEMS FEATURES, MATERIALS, COMPONENTS AND DEVICES IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM.
16. AFTER INSTALLING THE WALL AND CEILING INSULATION THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATED SIGNED BY THE INSTALLER STATING THE INSTALLATION IS CONSISTENT WITH THE PLANS. THE CERTIFICATE SHALL ALSO STATE THE MANUFACTURER'S NAME, MATERIAL IDENTIFICATION, AND INSTALLED R-VALUE.
17. THE CENTER OF RECEPTACLES/OUTLETS SHALL BE MOUNTED NOT LESS THAN 15" A.F.F., TYPICAL.
18. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS, AND OTHER ENVIRONMENTAL CONTROLS SHALL NOT BE LESS THAN 15" OR MORE THAN 48" A.F.F.
19. STRUCTURAL OBSERVATION SHALL BE REQUIRED BY THE [X] ARCHITECT OR [X] ENGINEER FOR STRUCTURAL CONFORMANCE TO THE APPROVED PLANS.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR FILING/RECEIVING OF ALL REQUIRED PERMITS.
HVAC SYSTEMS, SUCH AS VIA A STATE CERTIFIED APPRENTICESHIP PROGRAM, PUBLIC UTILITY TRAINING PROGRAM (WITH CERTIFICATION AS INSTALLER QUALIFICATION), OR OTHER PROGRAM ACCEPTABLE TO THE DEPARTMENT OF BUILDING INSPECTION. (CALGREEN 702.1)
COVERING DUCT OPENINGS AND PROTECTING MECHANICAL EQUIPMENT DURING CONSTRUCTION: DUCT OPENINGS AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL COVERED DURING ALL PHASES OF CONSTRUCTION WITH TAPE, PLASTIC, SHEETMETAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS ENTERING THE SYSTEM.
BATHROOM EXHAUST FANS: MUST BE ENERGY STAR COMPLIANT, DUCTED TO TERMINATE OUTSIDE THE BUILDING, AND CONTROLLED BY HUMIDISTAT CAPABLE OF ADJUSTMENT BETWEEN RELATIVE HUMIDITY OF LESS THAN 50% TO MAXIMUM OF 80%. HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT FROM THE EXHAUST FAN.
CARPET: ALL CARPET MUST MEET ONE OF THE FOLLOWING: (CALGREEN 4.504.3)
1. CARPET AND RUG INSTITUTE GREEN LABEL PLUS PROGRAM,
2. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD PRACTICE FOR THE TESTING OF VOCS (SPECIFICATION 01350),
3. NSF/ANSI 140 AT THE GOLD LEVEL,
4. SCIENTIFIC CERTIFICATIONS SYSTEMS SUSTAINABLE CHOICE, OR
5. CALIFORNIA COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS EQ 2.2 AND LISTED IN THE CHPS HIGH PERFORMANCE PRODUCT DATABASE
AND CARPET CUSHION MUST MEET CARPET AND RUG INSTITUTE GREEN LABEL, AND INDOOR CARPET ADHESIVE & CARPET PAD ADHESIVE MUST NOT EXCEED 50 G/L VOC CONTENT.
RESILIENT FLOORING SYSTEMS: FOR 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING, INSTALL RESILIENT FLOORING COMPLYING WITH:
1. CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM,
2. COMPLIANT WITH THE VOC-EMISSION LIMITS AND TESTING REQUIREMENTS OF CALIFORNIA DEPARTMENT OF PUBLIC HEALTH 2010 STANDARD METHOD FOR THE TESTING AND EVALUATION CHAMBERS V.1.1,
3. COMPLIANT WITH THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) EQ2.2 AND LISTED IN THE CHPS HIGH PERFORMANCE PRODUCT DATABASE, OR
4. CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOLS PROGRAM TO COMPLY WITH CALIFORNIA DEPARTMENT OF PUBLIC HEALTH
COMPOSITE WOOD PRODUCTS: HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON INTERIOR OR EXTERIOR SHALL MEET CARB AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD. SEE CALGREEN TABLE 4.504.5.
INTERIOR PAINTS, COATINGS LOW-VOC AEROSOL PAINTS, COATING ARE COMPLY WITH CALIFORNIA GREEN BUILDING CODE.
LOW VOC CAULKS, CONSTRUCTION ADHESIVES, AND SEALANTS ARE COMPLY WITH CALIFORNIA GREEN BUILDING CODE.

PROJECT DATA

OWNER: ZHI HUI YANG
ADDRESS: 786 HUMBOLDT ROAD, BRISBANE, CA 94005
APN: 007.432.370 & 007.432.380
ZONING DISTRICT: R-1
OCCUPANCY: R-3
CONSTRUCTION TYPE: TYPE V NON-RATED
SPRINKLERED: YES, NFPA 13 (UNDER SEPARATE PERMIT)
LOT AREA: 4,265 SQ. FT.
HEIGHT LIMIT: 28'-0"
LOT SLOPE: 17%
MAX. LOT COVERAGE: 40% (1,706 S.F. / 4,265 S.F.)
(P) LOT COVERAGE: 39.6% (1,693 S.F. / 4,265 S.F.)
MAX. F.A.R.: 72% (3070.8 S.F. / 4,265 S.F.)
(P) F.A.R.: 69.8% (2,979 S.F./4,265 S.F.)
GARAGE PARKING: 2
OFF STREET PARKING: 2
FRONT SET BACK: 10'-0"
SIDE SET BACK: 5'-0"
REAR SET BACK: 10'-0"
SCOPE OF WORK: ERECT THREE STORY BUILDING OVER GARAGE
1ST FLOOR: LIVING ROOM, DINING ROOM, KITCHEN, ONE POWDER ROOM
2ND FLOOR: ONE MASTER BEDROOM, TWO BEDROOMS, THREE BATHROOM, AND TWO W.I.C.
3RD FLOOR: MASTER BEDROOM, W.I.C., AND MASTER BATHROOM
FLOOR AREA: PROPOSED (INCLUDE EXTERIOR WALL)
GARAGE 469 S.F.
1ST FLOOR 991 S.F.
2ND FLOOR 1,024 S.F.
3RD FLOOR 495 S.F.
TOTALS 2,979 S.F.
GOVERNING CODES
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA FIRE CODE
2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
2016 CALIFORNIA ENERGY CODE
WATER CONSERVATION REQUIREMENT
1. WATER CLOSET WITH A FLOW RATE IN EXCESS OF 1.6 GPF WILL NEED TO BE REPLACED WITH WATER CLOSETS WITH A MAXIMUM FLOW RATE OF 1.28 GPF.
2. SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH A MAXIMUM 2.0 GPM SHOWER HEAD.
3. LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 GPM WILL NEED TO BE REPLACED WITH A FAUCET WITH MAXIMUM FLOW RATE OF 1.5 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS).
WALLS ENCLOSING CONDITIONED SPACE
R-VALUES ON THE PLAN VIEW SHALL MATCH THE R-VALUES ON CF-1R FORM.
VALUES SHALL BE: (FOR PRESCRIPTIVE PACKAGE D, CF-1R FORMS)
R-13 IN 2x4 STUDS
R-19 IN 2x6 STUDS
R-22 IN 2x8 STUDS
R-30 IN 2x10 STUDS
R-38 IN 2x12 STUDS
OR SPECIFY THE R-VALUE ON THE COMPUTER GENERATED CF-1R FORM (PERFORMANCE METHOD) (CNC STD 151 (f) 1 & TABLES 151-B, C OR D AND REFERENCE APPENDICES TABLE 4.3.1).
CEILING BETWEEN GARAGE AND ROOMS ABOVE, AND AT FLOORS WITH CRAWL SPACES
R-VALUES ON THE PLAN VIEW SHALL MATCH THE R-VALUES ON CF-1R FORM.
VALUES SHALL BE: (FOR PRESCRIPTIVE PACKAGE D, CF-1R FORMS)
R-13 IN 2x4 JOISTS
R-19 IN 2x6 JOISTS
R-22 IN 2x8 JOISTS
R-30 IN 2x10 JOISTS
R-38 IN 2x12 JOISTS
OR SPECIFY THE R-VALUE ON THE COMPUTER GENERATED CF-1R FORM (PERFORMANCE METHOD) (CNC STD 151 (f) 1 & TABLES 151-B, C OR D AND REFERENCE APPENDICES TABLE 4.3.1).



SHEET INDEX

Table with 2 columns: Sheet Number, Description. Includes A0.0 PROJECT DATA, DRAWING INDEX, DRAWING ABBREVIATIONS, SYMBOLS AND GENERAL NOTES; ARCHITECTURAL A1.0 (E) SITE PLANS & PHOTOGRAPHS, A1.1 (N) SITE PLAN, A2.0 FLOOR PLANS, A2.1 FLOOR PLANS, A2.2 ROOF PLAN, A3.0 DETAILS, A3.1 DETAILS, A3.2 DETAILS, A4.0 ELEVATIONS, A4.1 ELEVATIONS, A4.2 ELEVATIONS, A4.3 RENDERINGS, A5.0 SECTIONS, A5.1 SECTIONS, A6.0 WINDOW & DOOR SCHEDULE, A7.0 ELETRICAL PLANS, A7.1 ELETRICAL PLANS, A8.0 GAS & PLUMBING DIAGRAMS, A8.1 GAS & PLUMBING DIAGRAMS, L1.0 LANDSCAPE PLAN, L1.1 IRRIGATION PLAN, C-001 GENERAL INFORMATION, C-002 GENERAL SPECIFICATIONS, C-101 SITE PLAN, C-102 GRADING & DRAINAGE, C-103 EROSION & SEDIMENT CONTROL, C-104 EROSION & SEDIMENT CONTROL, C-105 EROSION & SEDIMENT CONTROL, C-106 S.M.C. BMP SHEET, C-107 ROADWAY WIDENING, ARCHITECTURAL TOPOGRAPHIC SURVEY (FOR REFERENCE ONLY)



APPLICANT: ZHI HUI YANG
786 HUMBOLDT ROAD
BRISBANE, CA 94005
415.218.8942

SHEET TITLE:

COVER SHEET

PROJECT ADDRESS: 786 HUMBOLDT ROAD, BRISBANE, CA 94005
APN: 007.432.370

PROJECT DESCRIPTION: ERECT NEW THREE-STORY RESIDENTIAL BUILDING

DESIGN BY : TIEN CHU
PREPARED BY : TINGRU YANG
ENGINEERED BY : JEFF CHOW
REVIEWED BY : JEFF CHOW
PHONE # : 650.741.6968

Table with 2 columns: NOTES, BY. Includes SCALE AS NOTED, JOB 160501, SHEET

A0.0



**INNOVATIVE
CONSULTING
ENGINEER**

90 South Spruce Ave # 8
S. San Francisco, CA 94080
415 741-6968
415 741-6968
info@icdesign.com

APPLICANT:

ZHI HUI YANG
786 HUMBOLDT ROAD
BRISBANE, CA 94005
415.218.8942

SHEET TITLE:

(E) SITE PLAN

PROJECT ADDRESS:

786 HUMBOLDT ROAD
BRISBANE, CA 94005
APN: 007.432.370

PROJECT DESCRIPTION:

ERECT NEW THREE-STORY
RESIDENTIAL BUILDING

DESIGN	BY : TIEN CHU
PREPARED	BY : TINGRU YANG
ENGINEERED	BY : JEFF CHOW
REVIEWED	BY : JEFF CHOW
PHONE #	: 650.741.6968

NOTES	BY

SCALE AS NOTED
JOB 160501
SHEET

A1.0

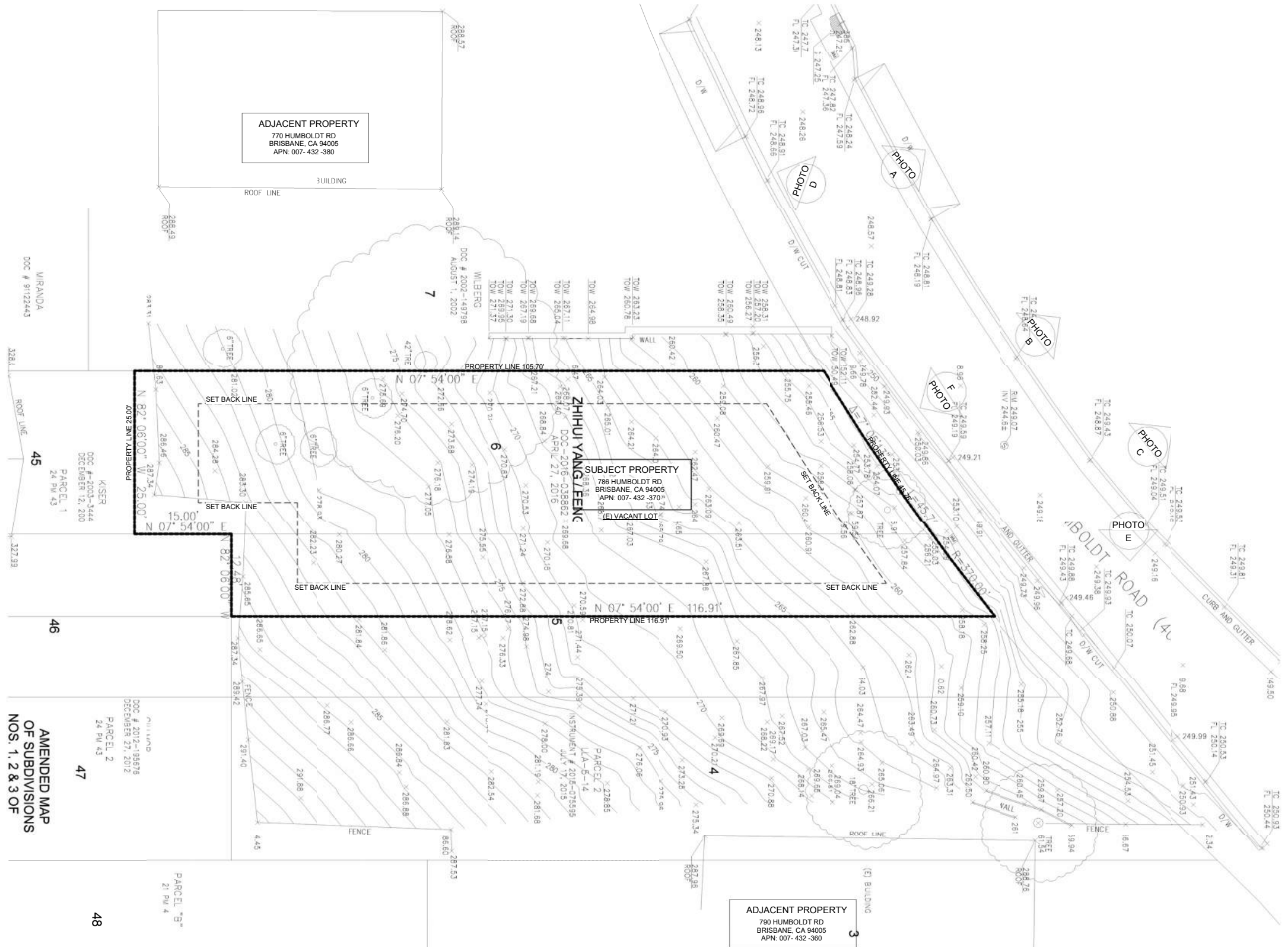


PHOTO A



PHOTO B



PHOTO C



PHOTO D



PHOTO E



PHOTO F

① (E) SITE PLAN
1/8" = 1'-0"





**INNOVATIVE
CONSULTING
ENGINEER**

90 South Spruce Ave # E
S. San Francisco, CA 94088
415.741.4968
415.741.4968
info@icdesigninc.com

APPLICANT:

ZHI HUI YANG

786 HUMBOLDT ROAD
BRISBANE, CA 94005

415.218.8942

SHEET TITLE:

(N) SITE PLAN

PROJECT ADDRESS:

786 HUMBOLDT ROAD
BRISBANE, CA 94005

APN: 007.432.370

PROJECT DESCRIPTION:

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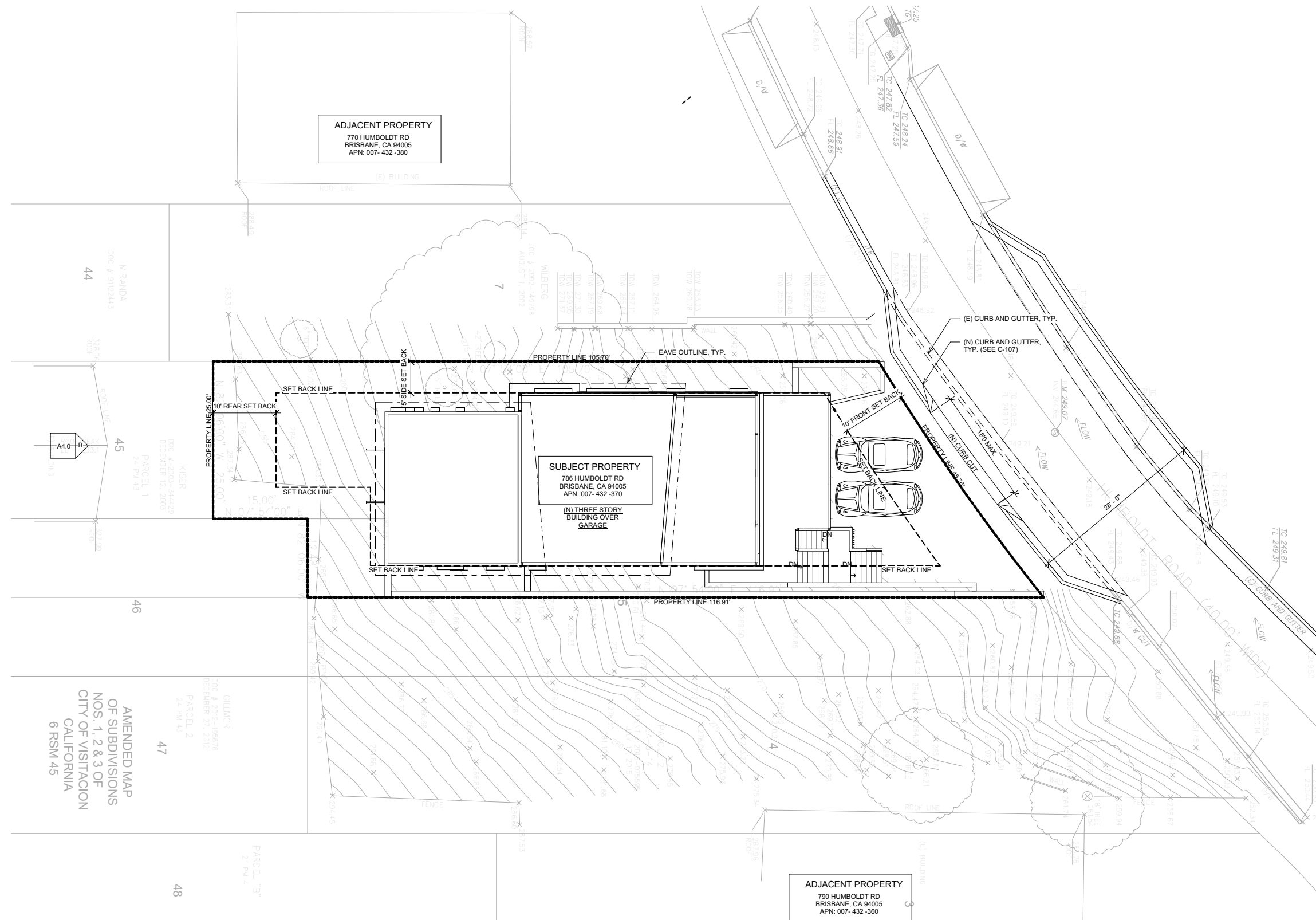
NOTES	BY

SCALE AS NOTED

JOB 160501

SHEET

A1.1



ADJACENT PROPERTY
770 HUMBOLDT RD
BRISBANE, CA 94005
APN: 007-432-380

SUBJECT PROPERTY
786 HUMBOLDT RD
BRISBANE, CA 94005
APN: 007-432-370
**(N) THREE STORY
BUILDING OVER
GARAGE**

ADJACENT PROPERTY
790 HUMBOLDT RD
BRISBANE, CA 94005
APN: 007-432-360

① (N) SITE PLAN
1/8" = 1'-0"

AMENDED MAP
OF SUBDIVISIONS
NOS. 1, 2 & 3 OF
CITY OF VISITACION
CALIFORNIA
6 RSM 45



**INNOVATIVE
CONSULTING
ENGINEER**

80 South Spruce Ave # E
S. San Francisco, CA 94088
415.741.4968
415.741.4966
info@icedesign.com

APPLICANT:

ZHI HUI YANG
786 HUMBOLDT ROAD
BRISBANE, CA 94005
415.218.8942

SHEET TITLE:

ELEVATIONS

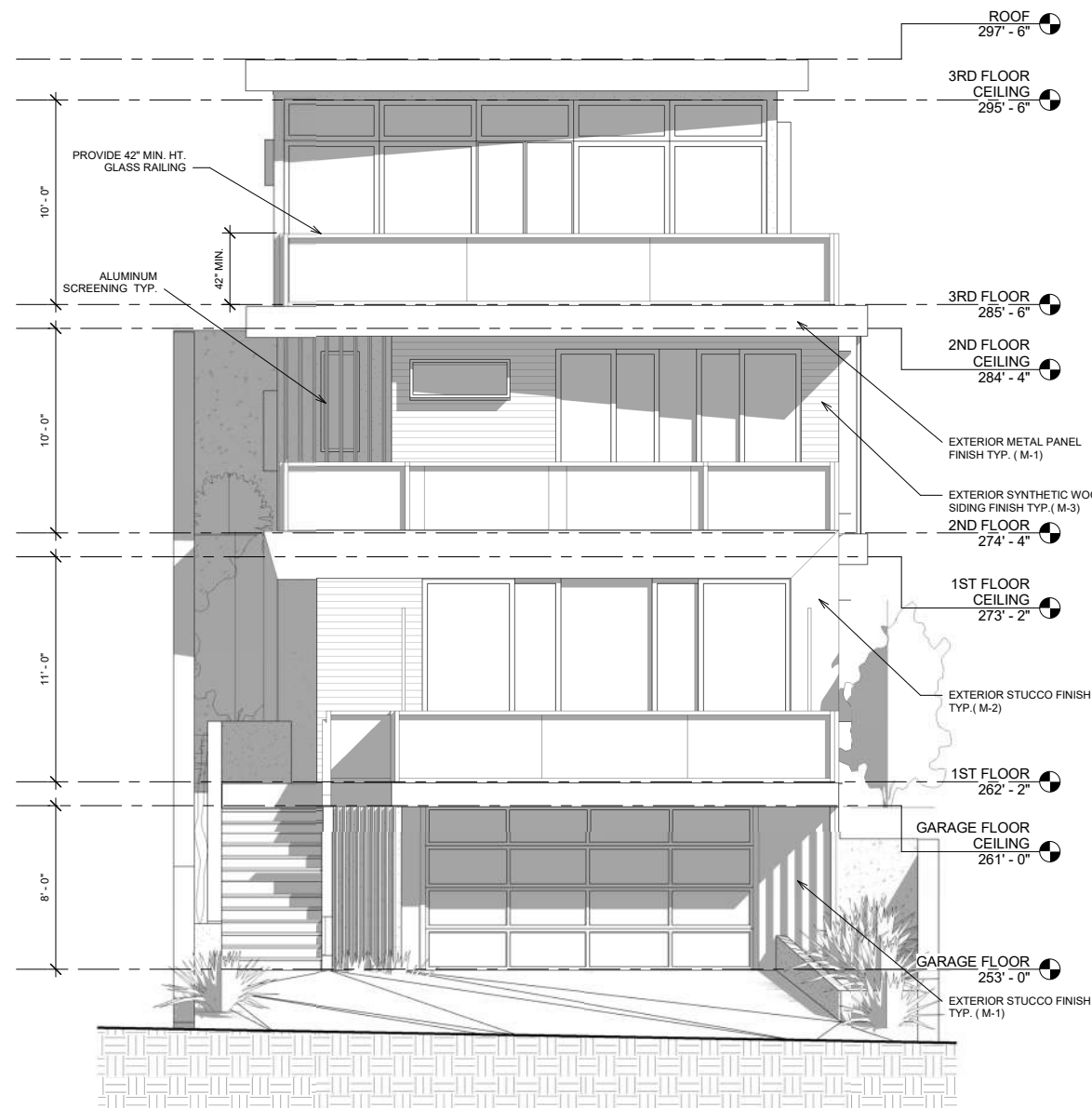
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APN: 007.432.370

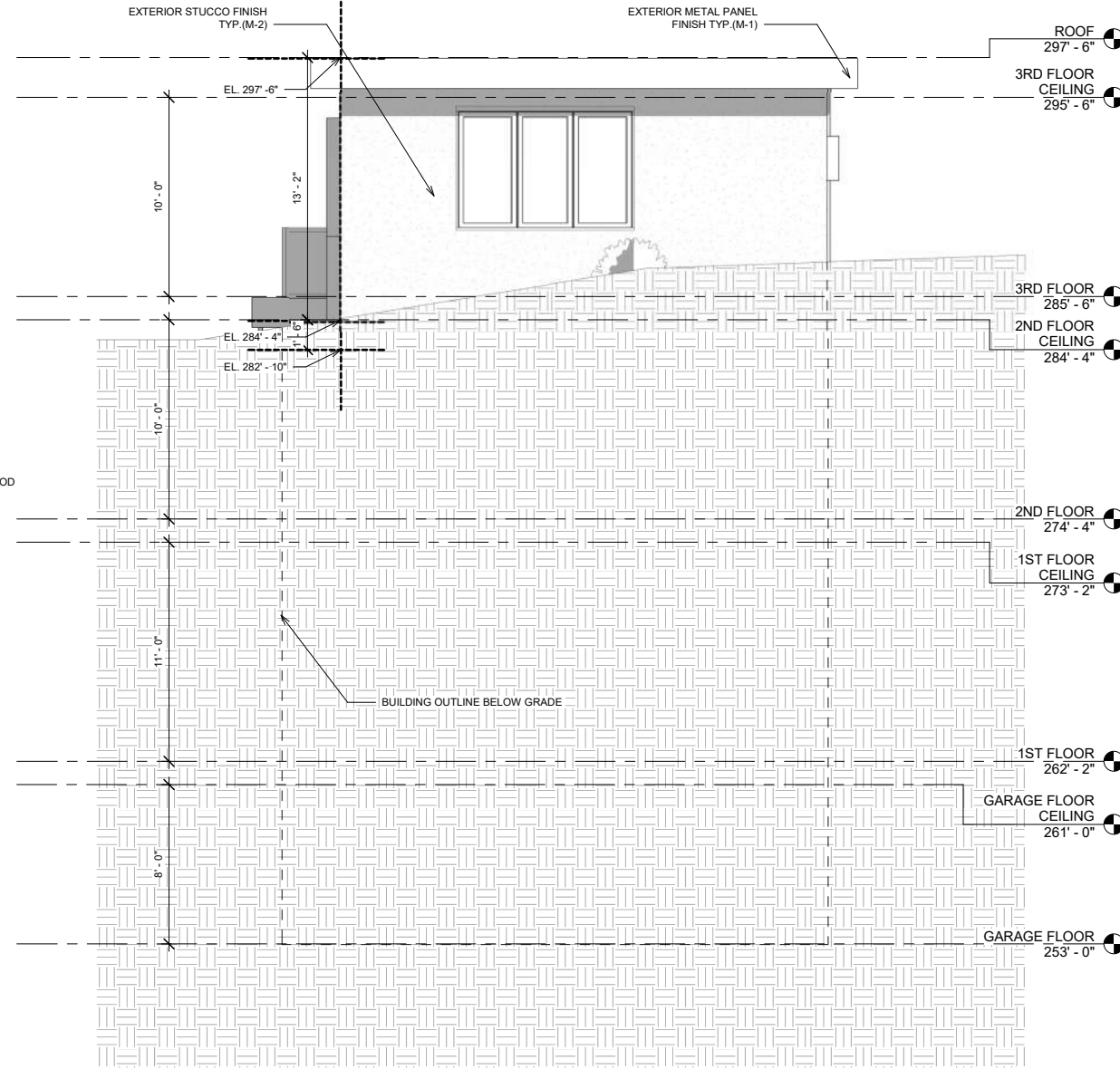
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RESIDENTIAL BUILDING

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ENGINEERED	BY	: JEFF CHOW
REVIEWED	BY	: JEFF CHOW
PHONE #		: 650.741.6968



(A) FRONT ELEVATION (NORTHEAST SIDE)
1/4" = 1'-0"



(B) REAR ELEVATION (SOUTHWEST SIDE)
1/4" = 1'-0"

MATERIAL LIST

M-1: EXTERIOR METAL PANEL FINISH	M-2: EXTERIOR STUCCO FINISH (BM 2143-60 MOONLIGHT WHITE)	M-3: EXTERIOR SYNTHETIC WOOD SIDING FINISH	ALUMINUM

NOTES	BY

SCALE AS NOTED
JOB 160501
SHEET

A4.0



**INNOVATIVE
CONSULTING
ENGINEER**

90 South Spruce Ave # E
S. San Francisco, CA 94088
415 741-6968
415 741-6966
info@icdesigngroup.com

APPLICANT:

ZHI HUI YANG
786 HUMBOLDT ROAD
BRISBANE, CA 94005
415.218.8942

SHEET TITLE:

ELEVATION

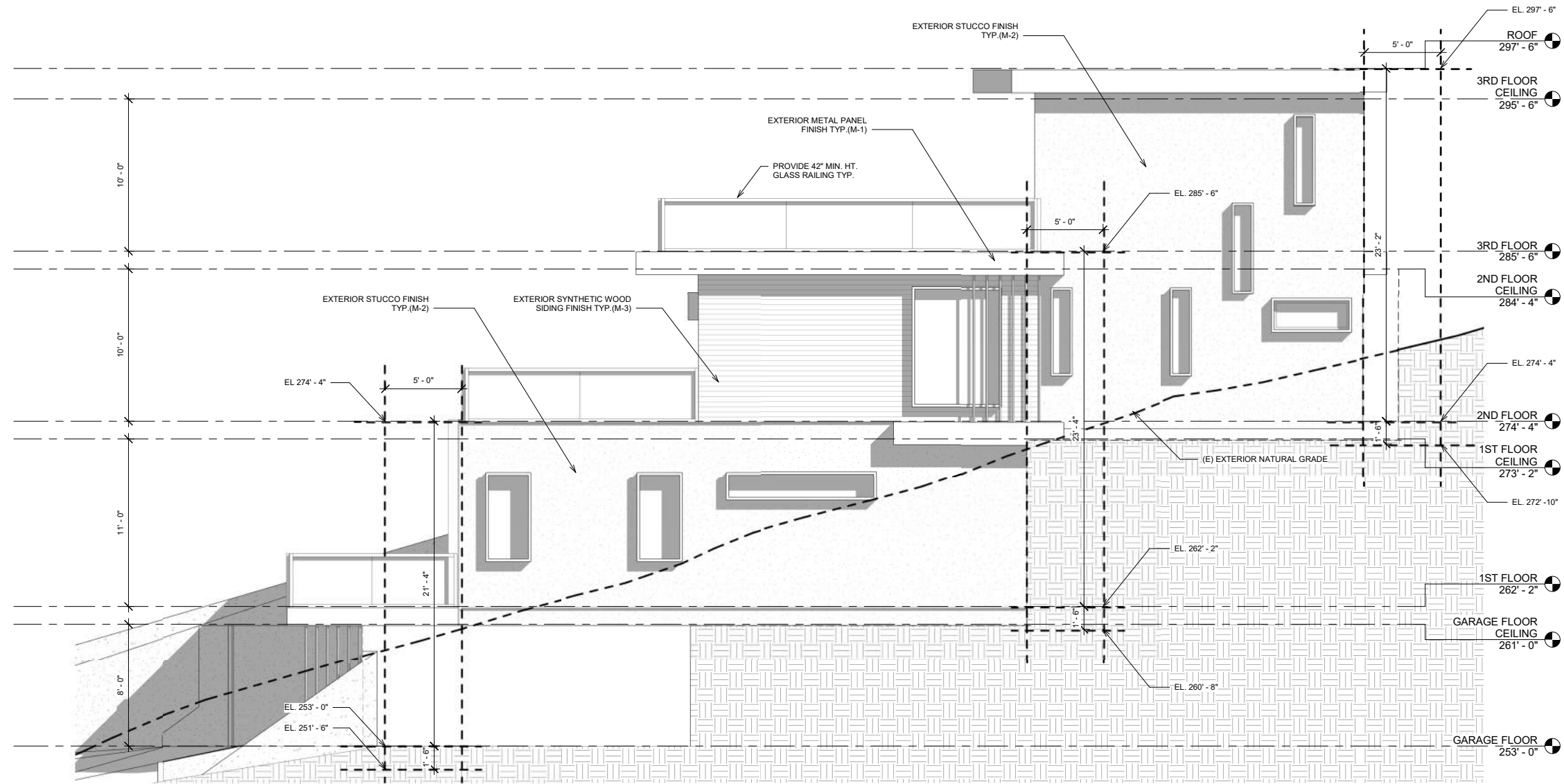
PROJECT ADDRESS:

786 HUMBOLDT ROAD
BRISBANE, CA 94005
APN: 007.432.370

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RESIDENTIAL BUILDING

DESIGN	BY : TIEN CHU
PREPARED	BY : TINGRU YANG
ENGINEERED	BY : JEFF CHOW
REVIEWED	BY : JEFF CHOW
PHONE #	: 650.741.6968



© WEST SIDE ELEVATION
1/4" = 1'-0"

MATERIAL LIST

M-1: EXTERIOR METAL PANEL FINISH	M-2: EXTERIOR STUCCO FINISH (BM 2143-60 MOONLIGHT WHITE)	M-3: EXTERIOR SYNTHETIC WOOD SIDING FINISH	ALUMINUM

NOTES	BY

SCALE AS NOTED
JOB 160501
SHEET

A4.1



**INNOVATIVE
CONSULTING
ENGINEER**

80 South Spruce Ave # E
S. San Francisco, CA 94088
415 741-6968
415 741-6966
info@icedesign.com

APPLICANT:

ZHI HUI YANG
786 HUMBOLDT ROAD
BRISBANE, CA 94005
415.218.8942

SHEET TITLE:

ELEVATION

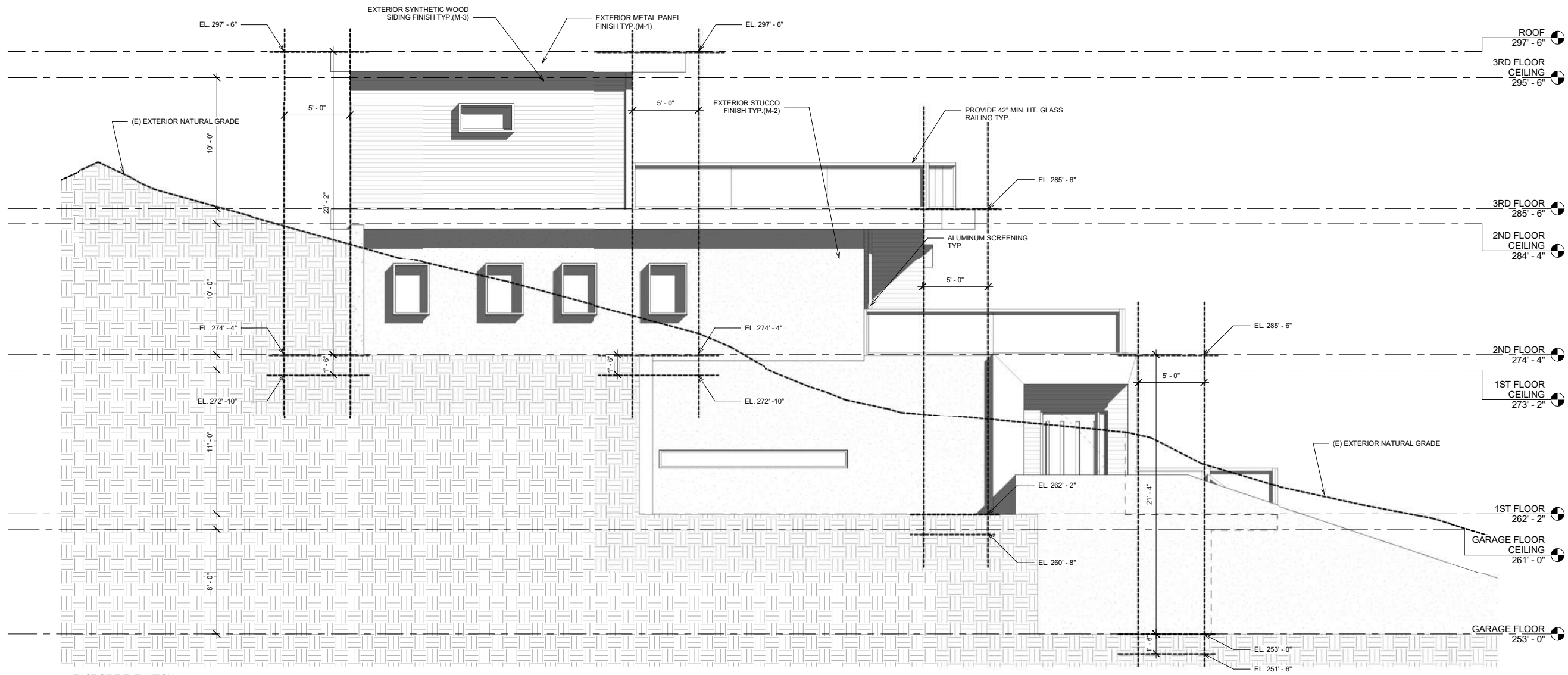
PROJECT ADDRESS:

786 HUMBOLDT ROAD
BRISBANE, CA 94005
APN: 007.432.370

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ERECT NEW THREE-STORY
RESIDENTIAL BUILDING

DESIGN	BY	: TIEN CHU
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ENGINEERED	BY	: JEFF CHOW
REVIEWED	BY	: JEFF CHOW
PHONE #		: 650.741.6968



Ⓓ EAST SIDE ELEVATION
1/4" = 1'-0"

MATERIAL LIST

			
M-1: EXTERIOR METAL PANEL FINISH	M-2: EXTERIOR STUCCO FINISH (BM 2143-60 MOONLIGHT WHITE)	M-3: EXTERIOR SYNTHETIC WOOD SIDING FINISH	ALUMINUM

NOTES	BY
SCALE	AS NOTED
JOB	160501
SHEET	

A4.2



**INNOVATIVE
CONSULTING
ENGINEER**

80 South Spruce Ave # E,
S. San Francisco, CA 94088
415.741.4968
415.741.4966
info@icedesign.com

APPLICANT:

ZHI HUI YANG
786 HUMBOLDT ROAD
BRISBANE, CA 94005
415.218.8942

SHEET TITLE:

SECTIONS

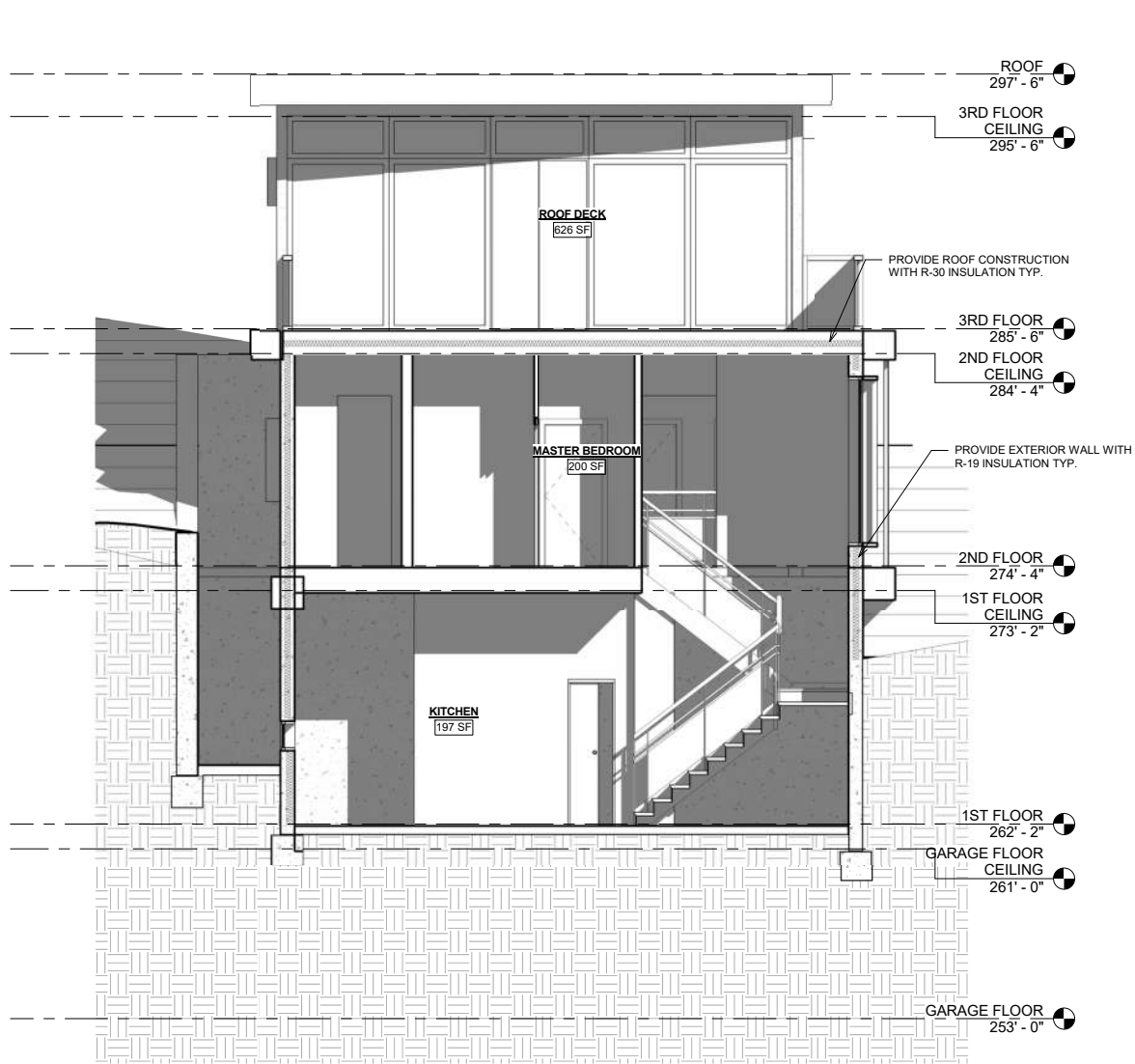
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BRISBANE, CA 94005
APN: 007.432.370

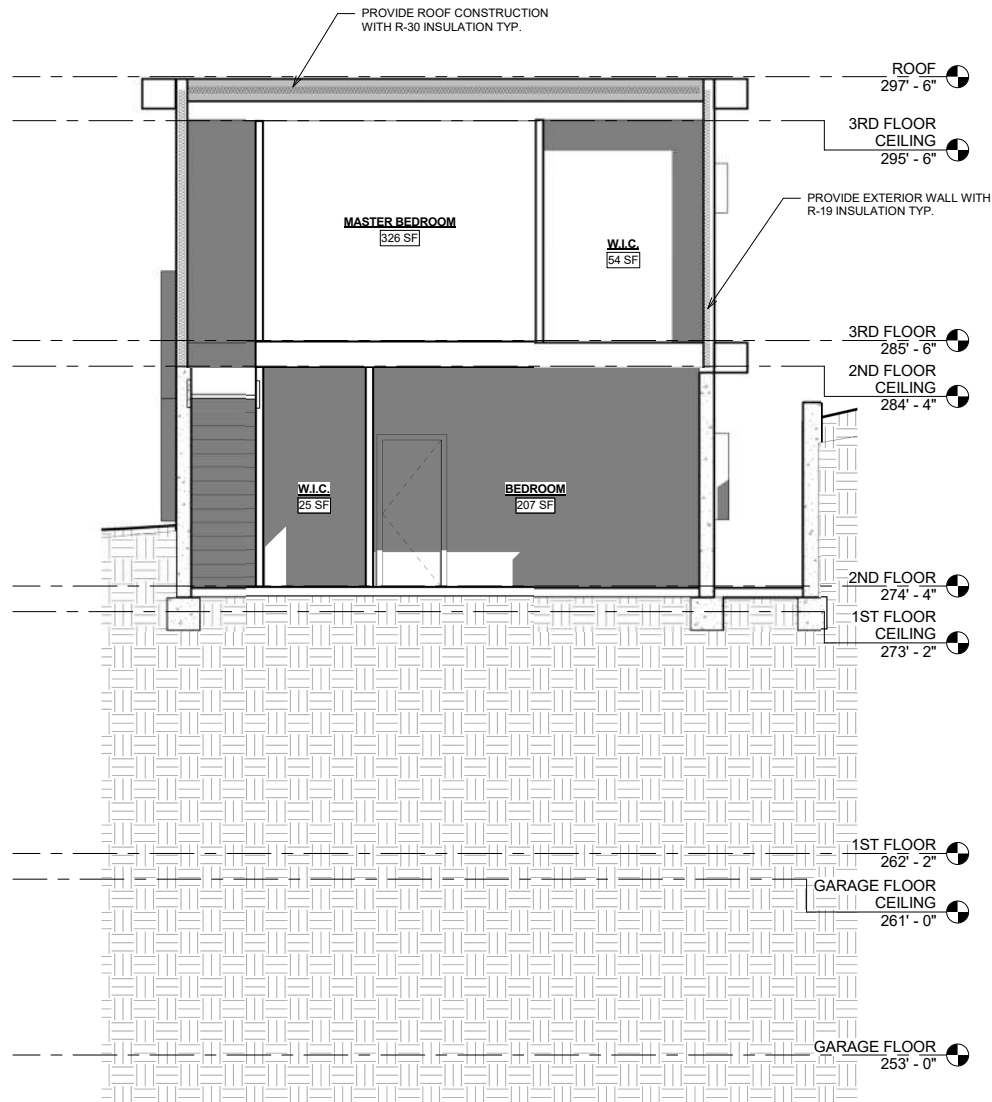
PROJECT DESCRIPTION:

ERECT NEW THREE-STORY
RESIDENTIAL BUILDING

DESIGN	BY	: TIEN CHU
PREPARED	BY	: TINGRU YANG
ENGINEERED	BY	: JEFF CHOW
REVIEWED	BY	: JEFF CHOW
PHONE #		: 650.741.6968



(A) LATITUDINAL SECTION
1/4" = 1'-0"



(B) REAR SECTION
1/4" = 1'-0"

NOTES	BY

SCALE AS NOTED
JOB 160501
SHEET

A5.0



**INNOVATIVE
CONSULTING
ENGINEER**

80 South Spruce Ave # E
S. San Francisco, CA 94088
415.741.4968
415.741.4966
info@icedesign.com

APPLICANT:

ZHI HUI YANG
786 HUMBOLDT ROAD
BRISBANE, CA 94005
415.218.8942

SHEET TITLE:

SECTIONS

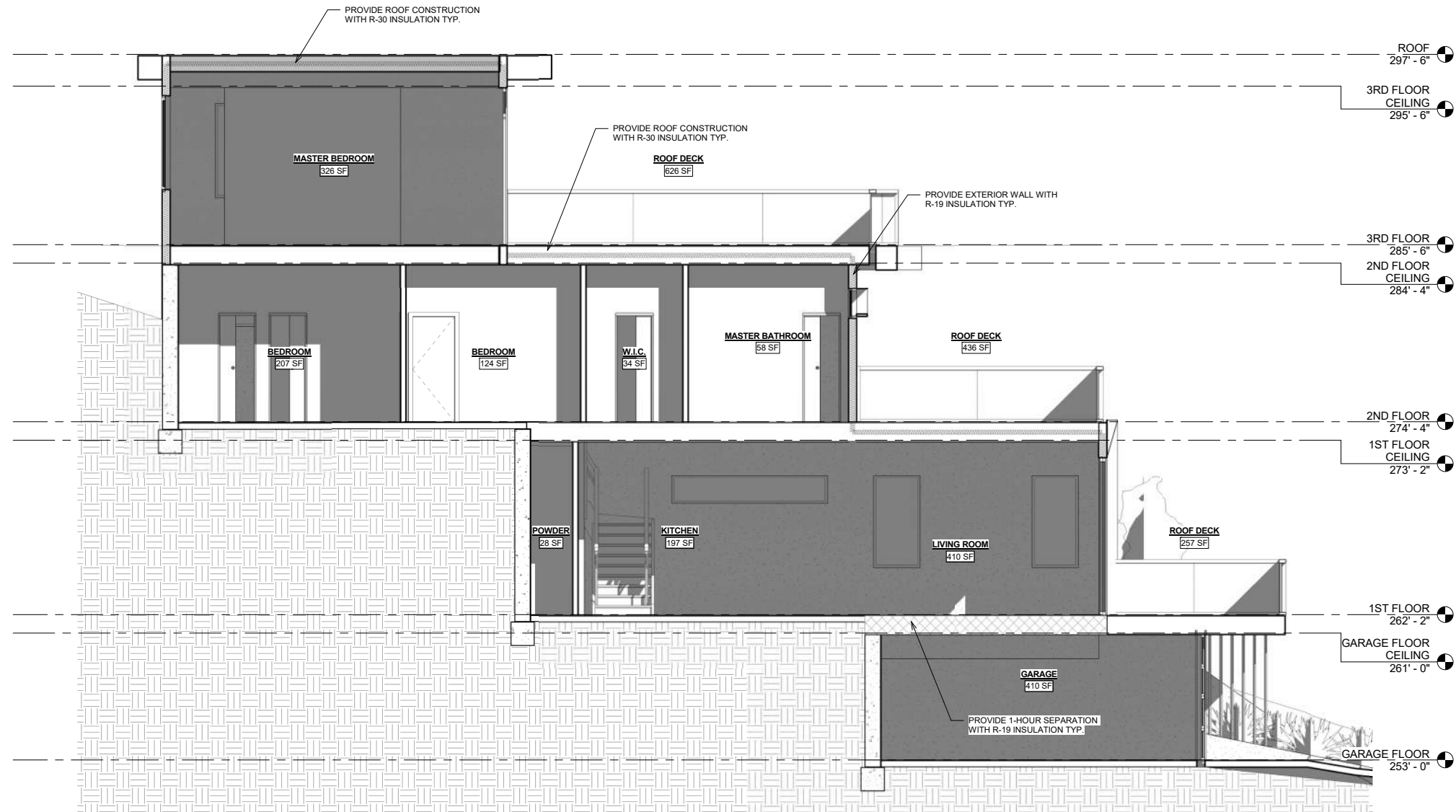
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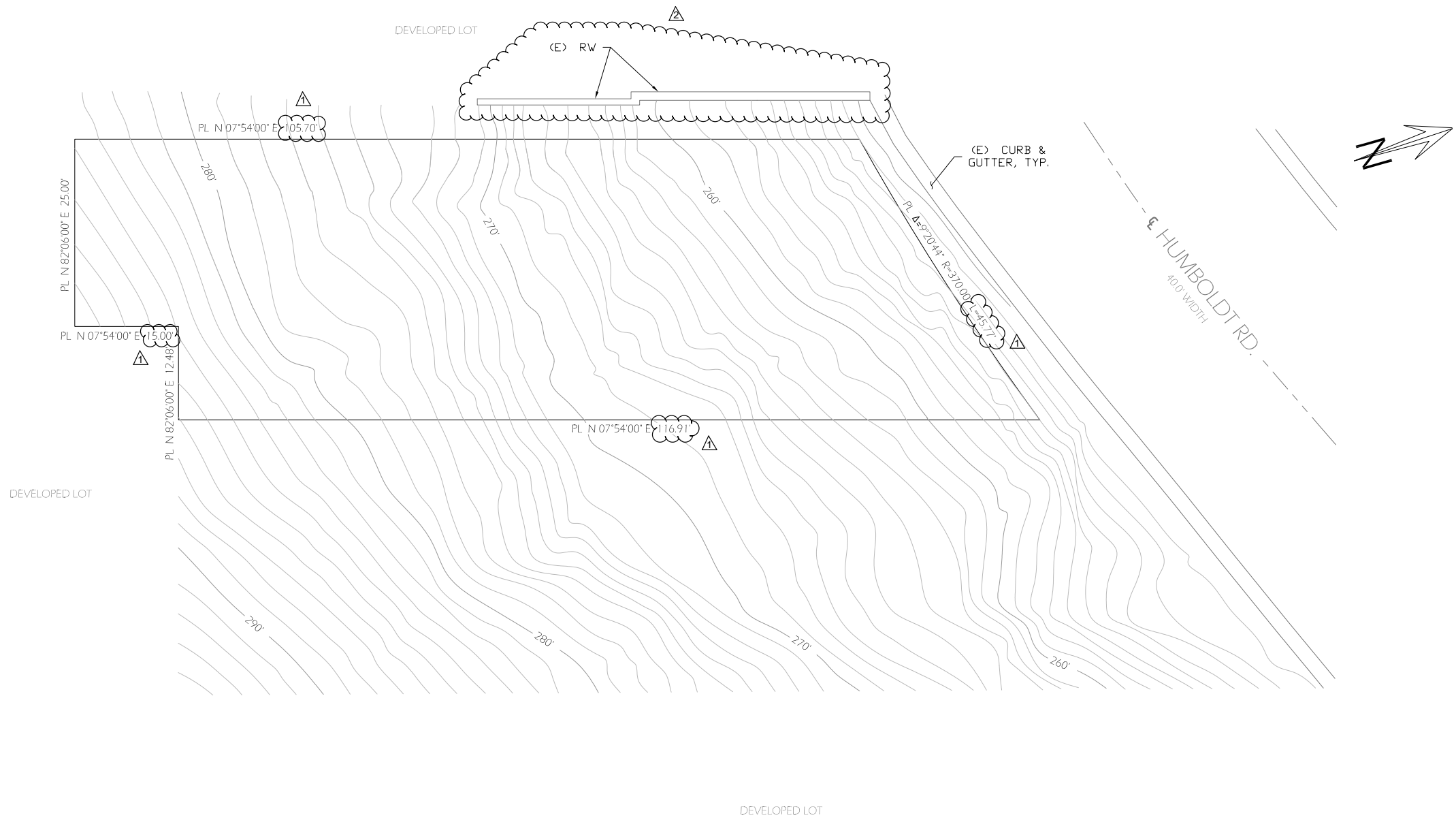


© LONGITUDINAL SECTION
1/4" = 1'-0"

NOTES	BY

SCALE AS NOTED
JOB 160501
SHEET

A5.1



- NOTES:
1. ALL DIMENSIONS TO BE V.I.F. BY CONTRACTOR.
 2. SEE SHEET C-102 FOR PROPOSED RESIDENTIAL STRUCTURE AND WALL LOCATIONS.



DESIGNER
 BERNS INFRASTRUCTURE, PLC
 WEST COAST OFFICE:
 3630 CABRILLO STREET,
 SAN FRANCISCO, CA 94121
 WWW.BERNSINFRASTRUCTURE.COM

PROJECT
 786 HUMBOLDT ROAD

CLIENT
 786 HUMBOLDT ROAD
 BRISBANE, CA 94005

SHEET TITLE
 SITE PLAN

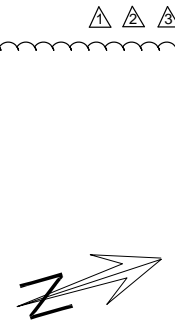
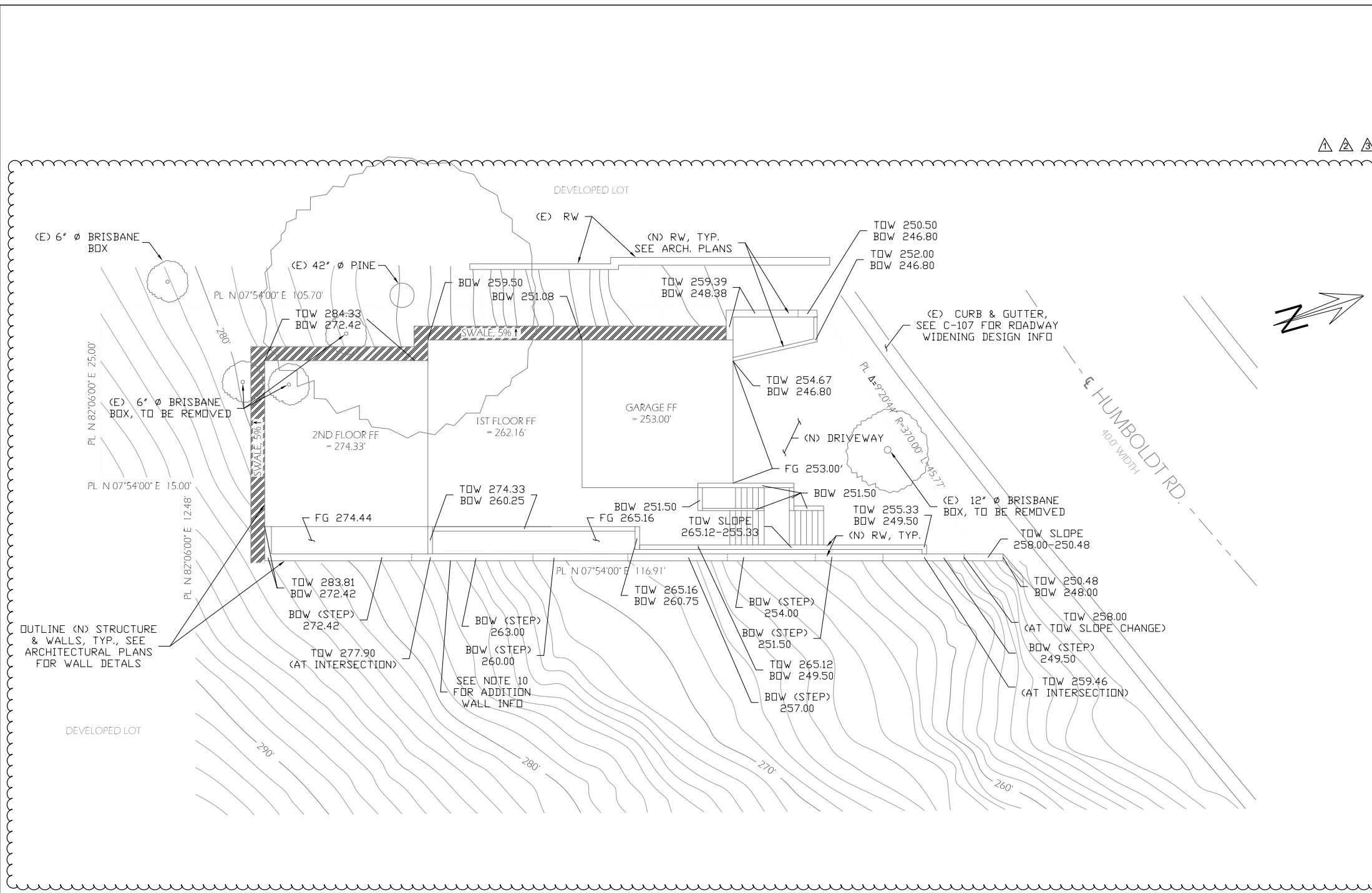
REV.	DATE	REVISION DESCRIPTION
1	5-8-17	REVISED PER CITY REVIEW COMMENTS
2	5-29-17	REVISED PER UPDATED ARCH. PLANS

DATE
 5/29/17

REV.
 2

SCALE 1/8" = 1'

SHEET NO.
 C-101



NOTES:

1. ALL DIMENSIONS TO BE V.I.F. BY CONTRACTOR.
2. SEE ARCHITECTURAL PLANS FOR DESIGN ELEMENTS NOT ADDRESSED IN THESE PLANS.
3. DRAINAGE SWALES TO HAVE 5% GRADE AND DRAIN AWAY FROM (N) STRUCTURE.
4. (E) CONTOURS IN LIGHTER GRAY. (N) CONTOURS IN DARKER GRAY.
5. ANY GRADING AND COMPACTION RECOMMENDATIONS SPECIFIED BY THE GEOTECHNICAL ENGINEER FOR THIS PROJECT SHALL BE STRICTLY ADHERED TO.
6. RETAINING WALL DESIGN, INCLUDING WALL DRAINAGE, AND SLAB DESIGN ARE BY OTHERS. WALL DRAINAGE RECOMMENDATIONS ARE PROVIDED ON SHEET C-002.
7. VERIFICATION OF STREET WIDENING AND/OR CITY IMPROVEMENTS TO BE PERFORMED WITH CITY ENGINEER PRIOR TO PLAN SUBMITTAL.
8. VERIFICATION OF (E) TREE TYPES TO BE VERIFIED BY CONTRACTOR PRIOR TO STARTING CONSTRUCTION.
9. SEE ARCHITECTURAL PLANS FOR RETAINING WALL, FOUNDATION, AND SLAB DETAILS.
10. EASTERMOST RETAINING WALL (ALONG EAST PL) TO HAVE SEVEN STEPPED FOOTINGS WITH BOW ELEVATIONS AS SHOWN AT RIGHT. TOW TO BE SLOPED, UPPER RUN TO SLOPE FROM 283.81 TO 258.00 AND LOWER RUN TO SLOPE FROM 258.00 TO 250.48, AS CALLED OUT AT RIGHT. DISTANCE FROM TOP OF WALL TO ADJACENT GRADE (ON EAST SIDE) TO VARY FROM APPROXIMATELY 0.50'-2.00'. SEE ARCHITECTURAL PLANS FOR RENDERING.

TOTAL IMPERVIOUS AREA: 2,365 SF
(SEE DRAINAGE REPORT CALCULATIONS)

EARTHWORK QUANTITY SUMMARY (CY)	
TOTAL CUT	910
TOTAL FILL	5
TOTAL IMPORT	0
TOTAL EXPORT	905
TOTAL GRADING	88 SQ. YDS



DESIGNER BERNS INFRASTRUCTURE, PLC WEST COAST OFFICE: 3630 CABRILLO STREET, SAN FRANCISCO, CA 94121 WWW.BERNSINFRASTRUCTURE.COM	PROJECT 786 HUMBOLDT ROAD	SHEET TITLE <h1 style="text-align: center;">GRADING & DRAINAGE</h1>	REV.	DATE	REVISION DESCRIPTION	DATE	SCALE 1/8" = 1'
	CLIENT 786 HUMBOLDT ROAD BRISBANE, CA 94005		1	5-8-17	REVISED PER CITY REVIEW COMMENTS	7/6/17	SHEET NO. C-102
	2	5-29-17	REVISED PER UPDATED ARCH. PLANS				
	3	7-6-17	ADJUSTED FOR ROADWAY WIDENING	REV. 3			

Job No.	6548
Sheet No.	1 OF 1
Date	10/12/16
Survey	KP 09/30/16
Design	N/A
Drawn	LF 10/12/16
Checked	BP 10/12/16
Scale	AS SHOWN

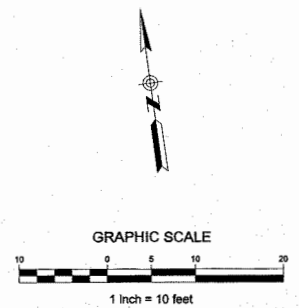
TRANSAMERICAN ENGINEERS

FOX PLAZA
1390 Market St., Suite 201
San Francisco, CA 94102
Phone No. (415) 553-4092
Fax No. (415) 553-4071

ARCHITECTURAL TOPOGRAPHIC SURVEY
BEING ALL OF LOTS 5 & 6 IN BLOCK 44 OF AMENDED MAP OF SUBDIVISIONS NOS. 1, 2 & 3 OF CITY OF VISITACION, CALIFORNIA 766 HUMBOLDT ROAD

Approved by: [Signature]
Chief Engineer License No. 9175
Expire: 9/30/2017

Revisions	By:

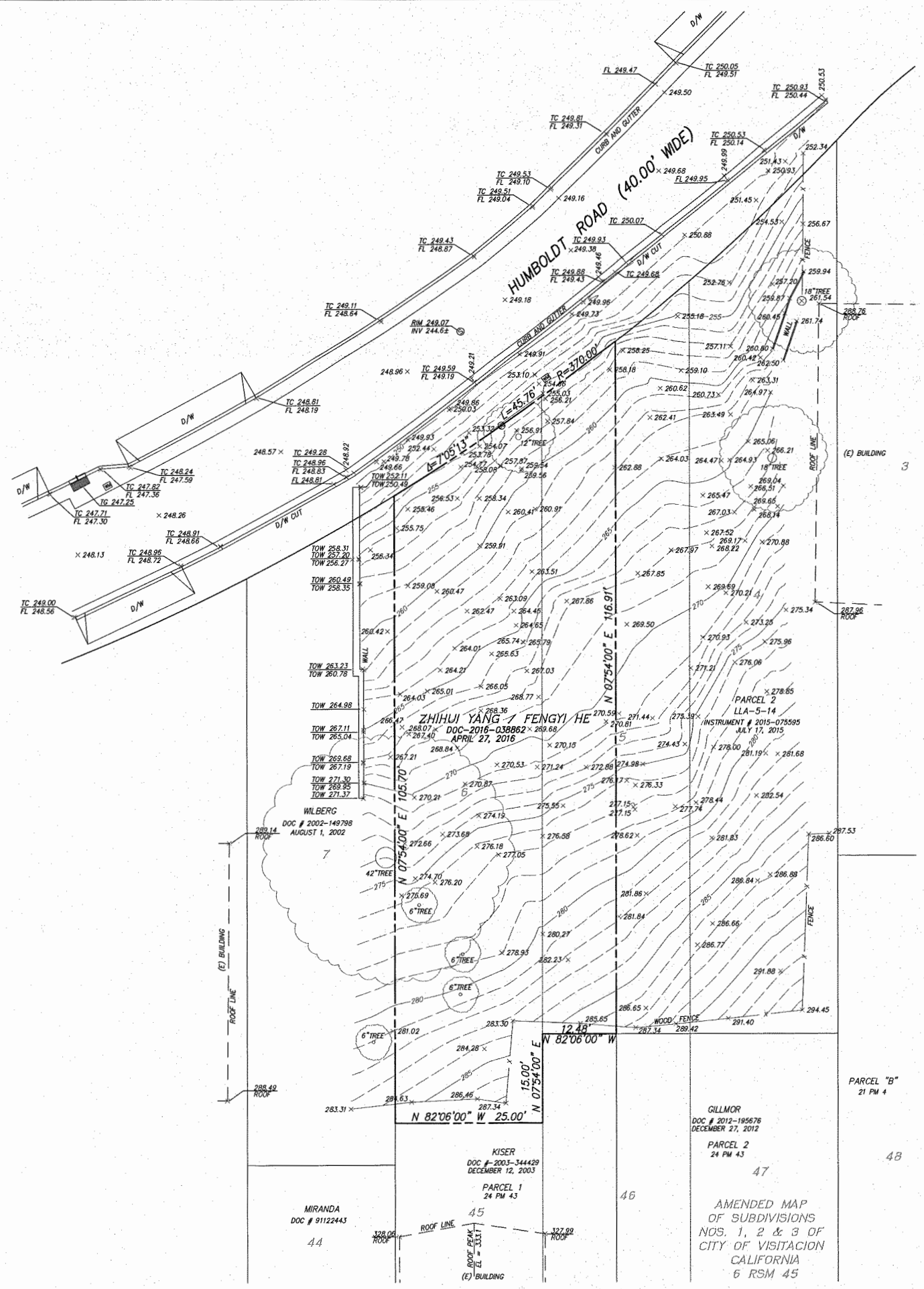


BENCH MARK
TOP OF FIRE HYDRANT NO. 44 AT THE INTERSECTION OF HUMBOLDT ROAD AND GLEN PARKWAY. ELEVATION = 305.632 (CITY DATUM)

REFERENCES
R1 "AMENDED MAP OF SUBDIVISIONS NOS. 1, 2 & 3 OF CITY OF VISITACION, CALIFORNIA" FILED OCTOBER 14, 1908, 8 RSM 45 OFFICE OF THE COUNTY RECORDER
R2 DOC-2016-038882, RECORDED APRIL 27, 2016 OFFICE OF THE COUNTY RECORDER
R2 "LLA-5-14", RECORDED JULY 17, 2015 INSTRUMENT NO. 2015-075595 OFFICE OF THE COUNTY RECORDER

- LEGEND**
- MARK - MONUMENT MAP
 - CITY MONUMENT
 - SET 1/2" REBAR & PLASTIC CAP LS 8975
 - FND 1/2" REBAR
 - SET NAIL & TAG LS 8975
 - FOUND NAIL & TAG
 - FOUND L CUT
 - SET CROSS
 - FD CROSS
 - FIRE HYDRANT
 - JOINT POLE
 - WATER METER
 - ELECTRIC METER
 - ELECTRIC BOX
 - TELEPHONE VAULT
 - WATER VALVE
 - GAS VALVE
 - CLEAN OUT
 - ELECTROLIER
 - CATCH BASIN
 - SEWER MANHOLE
 - STORM MANHOLE
 - LAMPHOLE
 - PARKING METER
 - CONCRETE
 - ASPHALT PAVING

- ABBREVIATIONS**
- [] ASSESSOR'S PLAT INFORMATION
 - AC ASPHALT CONCRETE
 - BLDG BUILDING
 - CLR CLEAR
 - CO CLEANOUT
 - CONC CONCRETE
 - COR CORNER
 - CB CATCH BASIN
 - D/W DRIVEWAY
 - DI DROP INLET
 - ELEV ELEVATION
 - (E) EXISTING
 - FND FOUND
 - GV GAS VALVE
 - FL FLOW LINE
 - HC HANDICAP RAMP
 - (N) NEW
 - OV OVER
 - P/L PROPERTY LINE
 - PROJ PROJECTED
 - TC TOP OF CURB
 - WM WATER METER
 - PM PARKING METER



NOTE TO ANYONE HAVE ANY INTEREST IN THIS MAP, PLEASE BE ADVISED OF THE FOLLOWING:

- THAT ALL TITLE INFORMATION HEREON (INCLUDING EASEMENTS IF ANY) WAS PREPARED SOLELY FOR AND IN STRICT CONFORMANCE WITH OUR CLIENT'S AND/OR HIS AGENT'S REQUIREMENTS. THE FOLLOWING INFORMATION WAS SUPPLIED TO TRANSAMERICAN ENGINEERS; DEED TITLE REPORT to A.P.N. ADDRESS OF THE P.I.G.
- FURTHERMORE, WE HEREBY DISCLAIM ANY AND ALL TITLE SEARCH RESPONSIBILITIES AS BEING BEYOND OUR CONTRACT AND COMMITMENT TO OUR CLIENT.
- THAT THIS MAP WAS PREPARED AS A PROFESSIONAL INSTRUMENT OR SERVICE AND THAT IT REMAINS THE PROPERTY OF TRANSAMERICAN ENGINEERS WHETHER THE PROJECT (IF ANY PROPOSED) ON THIS SITE IS CONSTRUCTED OR NOT.
- THAT ANY INFORMATION ON THIS MAP AND ANY DOCUMENT(S) PREPARED BY TRANSAMERICAN ENGINEERS IN RELATION HEREOF SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN FOR: BUILDING PERMITS.
- FURTHERMORE, THE USE OF THIS MAP FOR ANY OTHER PURPOSES WHATSOEVER INCLUDING ENGINEERING DESIGNS OF OFFSITE OR ONSITE IMPROVEMENTS IS BEYOND THIS MAP'S PURPOSE, INTENT & CONTRACT. TRANSAMERICAN ENGINEERS DISCLAIMS ANY AND ALL RESPONSIBILITIES, LIABILITIES WHICH SHALL REST UPON THE PARTY USING OUR INFORMATION BEYOND THE ESTABLISHED LIMITATION ABOVE.
- THAT ANY IMPROVEMENT CHANGES WITHIN THIS SITE OR THE ADJACENT SITES THEREOF AS WELL AS TITLE TRANSFERS OF THE PROPERTY IN QUESTION (EXCEPT FOR ALTA MAPS) AND/OR THE LAPSE OF 3 OR MORE YEARS FROM THE DATE OF THIS MAP (WHICHEVER COMES FIRST) SHALL VOID ALL INFORMATION HEREON UNLESS A RE-SURVEY IS ORDERED TO RECTIFY, UPDATE OR RE-CERTIFY THIS MAP.
- THAT THIS INFORMATION SHALL NOT BE USED FOR ANY IMPROVEMENT STAKING UNLESS STATED IN ITEM NO. 3 ABOVE.
- THAT THE USE OF THIS MAP BY OTHER CONSULTANTS OR CONTRACTORS ON BEHALF OF OUR CLIENT SHALL PROMPT THE IMMEDIATE FULFILLMENT OF ALL CLIENT'S OBLIGATIONS TO TRANSAMERICAN ENGINEERS UNLESS OTHERWISE AGREED TO.
- THAT UNDERGROUND UTILITIES (IF ANY) SHOWN HEREON WERE OBTAINED FROM INFORMATION PROVIDED TO TRANSAMERICAN ENGINEERS BY UTILITIES COMPANIES. TRANSAMERICAN ENGINEERS DOES NOT ASSUME ANY RESPONSIBILITY FOR THEIR EXISTENCE OR ACCURACY.
- THAT SURFACE UTILITIES, MANHOLES, ETC. AS SHOWN HEREON WERE LOCATED BY FIELD SURVEY.
- IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ALL ISSUES REGARDING PROPERTY DISPUTES WHICH MAY ARISE OUT OF INFORMATION SHOWN HEREON.

SPECIAL NOTES

- ELEVATIONS SHOWN AS "ROOF ELEV." HEREON ARE IN FACT THE ELEVATIONS OF THE HIGHEST POINT OF SIDE WALLS. THESE ELEVATIONS MAY BE EITHER THE ROOF OR THE PARAPET ELEVATION OF SUCH ROOF. FLAT ROOF LEVELS WERE NOT VISIBLE FROM SURVEY POINT.
- "PARAPET ELEV." SHOWN HEREON ARE THE HIGHEST POINT OF SUCH PARAPET.
- "ROOF PEAK ELEV." AND "EAVES ELEV." (IF ANY SHOWN HEREON) ARE THE HIGHEST POINT OF ROOF PEAKS AND THE LOWEST POINTS OF ROOF EAVES RESPECTIVELY.
- DUE TO LIMITED ACCESS TO THE REAR OR THE ADJACENT AND/OR THE PARAPET SUBJECT BUILDING(S) AND/OR COVERED STRUCTURE(S) AT THE TIME OF THIS SURVEY, THE TOPOGRAPHIC DATA FOR THOSE BUILDING(S) AND/OR STRUCTURE(S) IS NOT SHOWN HEREON.
- IT SHALL BE THE RESPONSIBILITY OF OUR CLIENT TO CALL OUR OFFICE IN ORDER TO HAVE OUR SURVEYORS LOCATE ADDITIONAL INFORMATION AND/OR STRUCTURE(S) ONCE THE SITE HAS BEEN CLEARED. WE REQUIRE AN ADVANCE NOTICE OF FOUR (4) DAYS MORE OR LESS.
- ALSO, NOTE THAT THERE WILL BE ADDITIONAL CHARGES FOR SUCH STAKING AS IT IS NOT A PART OF THE SCOPE OF THIS JOB'S CONTRACT.

RECEIVED
JUL 19 2017
Comm. Dev. Dept. Brisbane